INTERIOR ALTERATIONS FOR:

The Town of Medley - Florida

Municipal Services Facility

7777 NW 72nd Avenue - Medley, FL. 33166

Fire Protection

FP-1	Site Plan & General Notes
FP-2	First, Second & Third Floor Fire Protection Partial Floor Plans

Architectural

SP-1	Specification Sheet
SP-2	Specification Sheet
SP-3	Specification Sheet
SP-4	Specification Sheet
A-1	Site Plan / General Notes
A-2	Building Floor Plan
A-3	Partial Ground Floor Lobby Plan / Reflected Ceiling Plan
A-4	Floor / Wall & Ceiling Demolition Plans at Ground Floor for Police Sub-Station
A-5	Enlarged Police Dept / Holding Cells Plan & Reflected Ceiling Plan (Ground Floor Level)
A-5LS	Police Dept Ground Floor Life Safety Plan
A-6	Sally Port Plan & Details
A-7	Training Room Floor Plan & Reflected Ceiling Plan
A-7LS	Second Floor Life Safety Plan

Architectural

A-8	Third Floor Plan
A-8LS	Third Floor Life Safety Plan
A-9	Third Floor Reflected Ceiling Plan
A-10	Sections and Details
A-11	Sections and Details
A-12	Sections and Details
A-13	Sections and Details
A-14	Enlarged Men's & Women's Locker Rooms
A-14.1	Men's & Women's Shower Plan & Elevations
A-14.2	Ground Floor Lobby & Processing Room Details & Elevations
A-15	Door and Room Finish Schedules
A-16	Holding Cells & Interview Room Specifications
A-16.1	Holding Cells & Interview Room Specifications
A-16.2	Holding Cells & Interview Room Specifications

Structural

S-1	Ground Floor , Second & Third Floor Framing Plan
S-2	Schedules & Details.

Mechanical

M-1	Lobby Area and Police Station Hvac Plan
M-2	Training Room Hvac Plan & Details
M-3	Third Floor Hvac Plan & Details
M-4	Schedules and Details

Plumbing

P-1	Police Station Plumbing Plan
P-2	Training Room Plan and Plumbing Isometrics
P-3	Pluming Isometric & Schedules

Electrical

E-1	Ground Floor Lobby Power / Lighting plan
E-2	Police Station Power / Lighting Plan
E-3	Training Room Power / Lighting Plan
E-4	Third Floor Power / Lighting Plan
E-5	Schedules and Risers

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5-20-14

DIVISION 1 - GENERAL REQUIREMENTS

1. Scope of Work: Work shall be performed in accordance with Drawings included herein and shall comply with the current edition of the Florida Building Code and with any and all such other applicable laws, codes, rules, regulations, and requirements of governmental authorities having jurisdiction over the Project.

2. The Bidder, by preparing and submitting a bid, represents that the Bidder has read, and fully comprehends the Drawings (Bidding Documents) to the extent that such documentation relates to the Work for which bid is submitted. Said bid shall be based upon the materials, products, equipment, systems, and assemblies specified by the Drawings (Bidding Documents) without exception. Should questions arise during the bidding process, regarding the clear intent of any portion of these Drawings (Bidding Documents), the Bidder shall promptly submit a written request for clarification (RFI) to the Architect and obtain all needed information prior to submittal of bid.

3. The Bidder, by preparing and submitting a bid, represents that the Bidder has visited the Project Site and field inspected, observed, noted, and accounted for existing conditions relative to the Work of the Project enumerated herein.

4. The Bidder, by preparing and submitting a bid, represents that the Bidder has visited the Project Site and field inspected all existing available site utilities for verification of compliance with the requirements of the Project, the current edition of The Florida Building Code, and with any and all such other applicable laws, codes, rules, regulations, and requirements of governmental authorities having jurisdiction over the Project. Contractor, to whom Project is awarded, shall fully comply with all requirements of the utility companies from which service is to be obtained.

5. The Contract Documents consist of the Agreement Between Owner and Contractor (hereinafter the Agreement), Drawings, Addenda issued prior to execution of the Contract, other documents listed in the Agreement and Modifications issued following execution of the Contract.

6. Contractor shall obtain and purchase all required building permits, licenses (including all applicable taxes), fees, assessments, etc., and comply with any and all permit requirements, zoning codes and ordinances affecting the Work. Said requirements shall be determined prior to execution of Agreement Between Owner and Contractor and commencement of Work.

7. Contractor shall purchase and maintain insurance coverage in accordance with Owners requirements.

8. Pre-Construction Conference: Contractor shall schedule a preconstruction conference prior to commencement of construction, at a time convenient to Owner and Architect, but no later than fifteen (15) days following execution of Agreement Between Owner and Contractor.

   A. Attendees: Authorized representatives of Owner, Architect and Architects Consultants, Contractor and its project manager, superintendent, major subcontractors, manufacturers, suppliers and other concerned parties shall attend the conference. All participants at the conference shall be familiar with the Project and authorized to conclude matters relating to the Work.

   B. Agenda: Discuss items of significance that could affect the progress of Work.

9. Contractor shall provide all necessary temporary utilities, temporary office / storage facilities and sanitary facilities, to coincide with Contractor' receipt of Notice to Proceed and commencement of Work, for the use and convenience of all engaged in such Work activities throughout Project duration.

   A. Maintain temporary services and facilities in a clean and neat condition.

   B. Locate facilities where they will serve Project adequately and result in minimum interference with performance of Work. Relocate and modify facilities as required.

   C. Maintain all temporary facilities and controls as long as needed for safe and proper completion of the Work. Remove all such facilities at completion of the Work and restore areas of placement.

   D. Materials and facilities that constitute "temporary facilities" are the property of Contractor.

10. Temporary Fire Protection: Until fire-protection needs are supplied by permanent systems, install and maintain temporary fire-protection systems of types required to protect against reasonably predictable and controllable fire-losses.

    A. Develop an overall fire-prevention / protection program for personnel at Project Site. Review needs with local Fire Department and establish procedures to be followed. Instruct personnel in methods and procedures. Post warnings and pertinent information.

11. Contractor shall provide adequate security of the Work and facilities, including but not limited to, on-site stored materials, fixtures, products, equipment and construction materials, tools equipment, machinery, and facilities. Security program shall deter, theft, vandalism, and the unlawful entry of premises by unauthorized personnel. Said security program shall be provided to coincide with Contractor's receipt of Notice to Proceed and commencement of Work and continue throughout Project duration.

12. Contractor shall coordinate and supervise all Work performed by its forces and by all subcontractors, labor men and material men. Contractor shall be responsible for the coordination and supervision of all Work activities to assure full compliance with the Drawings.

13 Contractor shall clean areas where Work is in process to the level of cleanliness necessary for the proper execution of Work and periodically remove surplus / waste materials, dirt, debris and rubbish from the site and dispose off-site lawfully.

14. Contractor shall execute the Work in accordance with the Drawings to the extent possible. Contractor shall coordinate the Work of all trades in order to avoid conflict. Where conflicts occur that cannot be easily resolved, the Architect shall be notified before proceeding with the Work. Where directed by Architect, Contractor shall, without additional cost to Owner, make reasonable modifications / adjustments in layout as needed to prevent conflict with various trades and / or proper execution of Work.

15. Contractor shall provide all labor, material, tools, construction equipment and machinery, facilities and services necessary for proper execution and completion of the Work in accordance with Drawings included herein and in accordance with the current edition of the Florida Building Code and with any and all such other applicable laws, codes, rules, regulations, and requirements of governmental authorities having jurisdiction over the Project.

16. Parking and Storage: Contractor shall establish and coordinate adequate areas for guest parking and parking areas for the use and convenience of all engaged in Work activities throughout Project duration.

   A. Contractor shall obtain and pay for the use of all off-site parking facilities as may be needed.

   B. Contractor shall obtain and pay for the use of off-site Owner / Architect approved bonded storage facilities as needed.

17. All Work shall be performed in accordance with standard industry practice to insure a high quality finished product. Perform all Work by skilled craftsmen in accordance with the established standard of care and workmanship relative to each of the various trades.

18. Where requested by Owner to certify conformance with standard industry practice and / or specified requirements, Contractor shall enlist the service of an applicable testing laboratory, at Owners cost. Should test results indicate non-conformance with standard industry practice and / or specified requirements, Contractor shall correct said deficiency, at no additional cost to Owner, and reimburse Owner the full amount of testing services unless Contractor has previously obtained Architect's / Owner's written acceptance of modifications or has used products incorrectly labeled by manufacturer.

19. All products shall be delivered / received in undamaged condition and stored in accordance with manufacturer's instructions to avoid damage to the items or disruption of Work. Contractor shall replace all damaged or unfit items at no additional cost to Owner.

20. When products specified require installation in accordance with manufacturer's instructions, perform Work in strict accordance with current written manufacturer's instructions.

21. Do not use material or equipment for any purpose other than that for which it is specifically designed or specified. All similar materials, components and equipment, intended for the same application, shall be the same type, model and style throughout the Project. Dissimilar materials and equipment will be rejected.

22. Where dissimilar materials come in contact, Contractor shall provide insulation to prevent galvanic or electrolytic action.

23. Contractor shall properly isolate all materials, components, systems and equipment to prevent vibration and / or structural noise transmission.

24. All pre-manufactured items that represent components, assemblies, etc. of the Work, outlined in the Drawings, shall comply with the requirements of Dade County Product Control Approval (NOA) - as applicable.

25. Allowable Tolerances: Unless otherwise indicated, the following tolerances shall apply to all Work:

   A. All vertical surfaces shall be plumb or constructed to the precise slopes or angles specified or intended.

   B. The maximum deviation from the true plan for vertical and horizontal surfaces shall not be greater than 1/8-inch in 10-feet, as measured with a straight edge placed at any location on the surface.

   C. All horizontal surfaces shall be level or constructed to the precise angle specified or intended.

   D. Wall and soffit intersections shall be at 90-degrees or at the precise angle specified or intended.

   E. All corners and edges shall be straight and true without dents, wave's bulges or blemishes.

   F. All joints shall be tight, straight, even and smooth.

   G. All operable / movable components shall function smoothly without sticking or binding and without excessive "play" or looseness.

26. Warranty: Contractor shall provide a written warranty for all workmanship, materials, components, equipment, systems and assemblies for a period of one-year (unless otherwise specified) from the date of Substantial Completion and acceptance by Owner. Contractor further agrees to correct all defects, which may appear in the Work within one-year (unless otherwise specified) following completion, arising from poor workmanship, defective or improper materials, including but not limited to, without additional cost to Owner, all expenses and damages incurred in connection with removal, replacement or repair of any portion of the Work which may be damaged or disturbed thereby. The terms and conditions of the warranty may be modified by the Agreement Between Owner and Contractor.

   A. The Contractor shall provide a written warranty for equipment and appliances, as applicable.

   B. A manufacturer's warranty on any item shall not relieve Contractor and / or Subcontractors from full responsibility under all specified warranties.

   C. All warranties for workmanship, materials, components, equipment, systems and assemblies shall be written to the benefit of the Owner and shall permit enforcement thereby.

27. Final Cleaning: Upon completion of Work, Contractor shall remove all construction related materials, tools, equipment,, machinery etc. from the building and premises.

   A. Conduct cleaning and waste-removal operations to comply with local laws and ordinances and Federal and local environmental and antipollution regulations.

   B. Employ experienced workers or professional cleaners for final cleaning. Clean each surface or item to condition expected in an average commercial building cleaning and maintenance program. Comply with material manufacturer's written instructions.

   C. Comply with safety standards for cleaning. Do not burn waste materials. Do not bury debris or excess materials on Owner's property. Do not discharge volatile, harmful or dangerous materials into drainage system. Remove all waste materials from Project Site and dispose of lawfully.

28. Pest Control: Engage an experienced, licensed exterminator to make final inspection and rid Project of rodents, insects and other pest. Submit final inspection report and warranty.

29. As-Builts: Upon completion of Work, Contractor shall provide Owner with a complete set of As-Built / Red Line Record Drawings, depicting actual component placement and routing, field modifications, additions, deletions and adjustments, to originally specified criteria, made during construction of the Project.

30. Close-Out: Administrative and procedural requirements for Project close-out shall include, but not limited to, the following:

   A. Substantial Completion: Contractor shall complete the following list of items and submit a written request for Architect's inspection to determine the date of Substantial Completion of Project:

      1. Completed Inspection Report / Punch List.
      2. Submit itemized Application for Payment, Releases of Lien, and all similar documentation as may be required by Owner and / or Owner's Lending Institution.

         a. Application for Payment and all Releases of Lien shall be notarized.
         b. Releases of Lien shall be submitted to Owner and / or Owner's Lending Institution prior to issuance of payment.
         c. Release of Lien forms shall include the following statement: "The undersigned certifies that all taxes imposed by Florida Statutes, as well as all applicable federal and local taxes, have been paid and discharged."

      3. Submit releases permitting Owner unrestricted use of the Work and access to services and utilities. Include occupancy permits, operating certificates, certificates of inspection including final building, mechanical, electrical, plumbing, elevators (as applicable) and similar releases.
      4. Submit Contractor's one-year warranty.
      5. Submit specific warranties, workmanship bonds, final certification, and similar documents.
      6. Submit Operation and Maintenance manuals for all equipment and appliances supplied and installed by Contractor.
      7. Complete start-up, testing and adjustment of systems and equipment.
      8. Complete final cleaning requirements, including touch-up painting.
      9. Touch-up and otherwise repair and restore marred exposed finishes to eliminate visual defects.

   B. Final Completion: Contractor shall complete the following list of items and submit a written request for Architect's inspection to determine the date of Final Completion of Project:

      1. Submit itemized Final Application for Payment, Unconditional Final Releases of Lien, and all similar documentation as may be required by Owner and / or Owner's Lending Institution.

         a. Final Application for Payment and all Unconditional Final Releases of Lien shall be notarized.
         b. Unconditional Final Releases of Lien are required from Contractor, subcontractors, material suppliers and all who have sent notices to Owner, as required by Florida Mechanic's Lien Law.
         c. Unconditional Final Releases of Lien shall be submitted to Owner and / or Owner's Lending Institution prior to issuance of payment.
         d. Unconditional Final Release of Lien forms shall include the following statement: "The undersigned certifies that all taxes imposed by Florida Statutes, as well as all applicable federal and local taxes, have been paid and discharged."

      2. Submit certified copy of Architect's Substantial Completion inspection list of items to be completed or corrected (Punch List), endorsed and dated by Architect. Said certified copy of the list shall state that each item has been completed or otherwise resolved for acceptance.

      3. Terminate and remove temporary facilities from Project Site, along with construction tools, equipment, and similar elements and restore areas of placement.

31. Demolition (as applicable): The Work may include demolition / alteration of existing construction and removal of various items of equipment as specified or implied by the Drawings.

   A. Demolition Drawing(s) are intended to depict the overall scope of demolition Work to be performed. Demolition Drawing(s) do not depict all of the specific Work items that will require demolition, removal, alteration and / or relocation for completion of the Work.

   B. Contractor shall visit the Project Site and perform a walkthru with the Owner to identify (with paint labels) and inventory specific items that will require demolition, removal, alteration, and / or relocation to accommodate new Work, including items that may not be depicted on the Demolition Drawing(s), that will also require demolition, removal, alteration, and / or relocation and coordinate which items will be disposed of and which will be given to Owner for storage. All cost associated with the aforementioned Work shall be included in Contractor's bid. Additional cost associated with the demolition, removal, alteration, and / or relocation of hidden, inaccessible, unforeseen items shall be submitted for Architect / Owner approval, prior to commencement of Work.

   C. Contractor shall immediately advise the Architect / Owner where visual observation and / or demolition reveals existing conditions which conflict with the Demolition Drawings or expose damaged and / or deteriorated architectural, structural or MEP elements that are to remain as a part of the finished product.

   D. Contractor shall coordinate all demolition related Work, trash removal, storage, etc., with Owner.

      1. Contractor shall remove all demolished elements (including vermin infested materials) from the Project Site and dispose of lawfully.

   E. Contractor shall provide safety features, methods, and procedures during demolition as required by all applicable governmental authorities having jurisdiction over the Project (including O.S.H.A.).

   F. All demolition, removal, alteration and or relocation required to execute the Work depicted in the Drawing(s) shall be the responsibility of the Contractor.

1. Carefully remove materials and equipment that are intended for reuse and store in a secure location.
2. Should doors and frames be intended for reuse in the Work, carefully remove the door from the frame and remove frame from the opening without damage to either. Remove hardware, clean, refurbish, and store for reinstallation as specified Doors and frames intended for salvage shall be carefully removed and delivered to location as indicated by Owner.
3. At areas of altered construction, repair cut edges, replace construction elements as needed and fit new to existing construction to match adjacent surfaces, as per finish schedule, and fully restore to its original or better condition.
4. Make joints of new and existing patches smooth, even, and practically invisible.
5. Repair all demolition in excess of that required, at no additional cost to Owner.

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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL 33166 Phone: (305) 887-95+1

REVISIONS	BY

5-20-14

1ST ISSUE FOR CONSTRUCTION
ALL PREVIOUS ISSUES OF THIS SET OF DRAWINGS ARE HEREBY VOIDED AND ARE DECLARED NOT VALID FOR CONSTRUCTION, INCORPORATED INTO THESE DWGS.

Date 3-27-14
Scale
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Job 13-032
Sheet
SP-1
Of Sheets

G. Prevent movement or settlement of existing structure, provide and place all shoring and bracing as required to support the structure.

1. Contractor shall employ the services of a State of Florida registered Structural Engineer to determine and specify all needed means, methods, and procedures applicable to the safe support of the structure. Contractor and its engineering consultant shall assume full responsibility and liability for any such movement or settlement, damage or personal injury.

H. Contractor shall arrange and pay for disconnection, removal and capping of utility services within areas affected by demolition Work. Place easily recognized markings to locate and identify disconnected services. Locate electric service main disconnect, main water valve, and main gas supply valve (as applicable) prior to commencement of demolition Work.

I. Erect and maintain weather proof and dust proof enclosure and partitions to prevent weather damage and intrusion of dust, dirt, fumes, and smoke into other areas of the building, in accordance with Owners guidelines and stipulations.

J. Contractor shall notify the Architect, Owner and all applicable governmental authorities if visual inspection or demolition reveals the presence of hazardous materials at the Project Site, in any form including but not limited to, asbestos, PCB'S or other toxic substances.

K. Owner shall supply Contractor with an asbestos survey identifying any items that may contain asbestos. Contractor shall follow the survey and employ the services of a certified asbestos abatement contractor to perform the containment or removal of said items.

DIVISION 2 - DRAWINGS

1. The Drawings, prepared by Rodriguez Pereira Architects, Inc. and its Consultants are Instruments of Service through which the Work to be executed by the Contractor is described. Said Drawings are the property of Rodriguez Pereira Architects, Inc. and shall not be used, reproduced or altered in any manner without the expressed written consent of the Architect. Unauthorized use, reproduction, alteration, modification, addition or deletion to these Drawings is strictly prohibited.

2. The Drawings are complimentary and what is required by one shall be as binding as if required by all.

3. Inasmuch as the Drawings are complimentary, prior to commencement of each portion of the Work, Contractor shall carefully study and compare the various disciplines of the Drawings with each other and with information furnished by Owner and shall report promptly to Architect, errors, omissions and / or inconsistencies discovered. In the event, Contractor proceeds with any construction activity knowing that it involves a recognized error, Contractor shall assume appropriate responsibility for such performance and shall bear an appropriate amount of the attributable cost for correction.

4. The Drawings included herein represent an integral portion of the Contract Document package. Contractor, all subcontractors, labor men, material men, and suppliers shall familiarize themselves with their respective requirements and responsibilities and coordinate same with all related disciplines.

5. The design of spaces depicted in these Drawings complies with the accessibility requirements of the Florida Building Code 2010 edition.

   A. The building shall include an accessible route for the public from accessible parking spaces to entry doors and into the building. All public areas are accessible and have no level change greater than 1/2-inch except as provided by ramp.

   B. Fully comply with additional accessibility requirements included herein.

6. It is not the intent of these Drawings to depict each and every detail of construction. Contractor shall furnish and install all materials, components, equipment, and assemblies required to complete the Work outlined in the Drawings.

7. Do not scale Drawings. Use figured dimensions only. Contractor shall field verify all existing conditions and dimensions and carefully compare said field verified conditions and dimensions, along with other applicable information known to Contractor, with the Drawings prior to commencement of Work activities. Errors, omissions, and / or inconsistencies discovered shall be reported promptly to the Architect. Contractor's commencement of Work activities shall constitute acceptance of existing conditions.

8. Contractor's report or request for information (RFI) shall be submitted in such form as Architect may require.

9. Should a conflict, inconsistency, or contradiction occur within the Drawings, the item or arrangement of superior quality and / or higher value shall be included in the Contract price.

10. Abbreviations included in the Drawings represent commonly used industry standard notations. Architect will clarify / define any abbreviation, upon request.

11. The Architect, its Consultants, Professionals and Principals are not responsible for the preparation, implementation, supervision, inspection, or observation of any and all site safety practices, safety programs, safety procedures, or safety standards whether required by statutory or common law and nothing herein shall create any responsibility associated therewith, on behalf of the Architect, its Consultants, Professionals and Principals. The Project Contractor shall be solely responsible for any and all site safety practices, safety programs, safety procedures, safety standards, and compliance with any and all applicable laws, regulations, and ordinances associated therewith.

    Additionally, the Architect, its Consultants, Professionals and Principals will neither have control of, nor be responsible for, the construction means, methods, techniques, sequences, or procedures in connection with the Work during construction, since these are the Contractor's rights and responsibilities.

12. The use of brand names, trade names and manufacturers in the selection and specification of materials, products and equipment is intended to establish minimum standards for Project components. Following receipt of Notice to Proceed, Architect / Architect's Consultants may consider written request from Contractor for substitution of products.

    A. All proposed substitutions of specified materials, components, equipment, systems, and assemblies shall be submitted to the Architect (in a form acceptable to Architect) for evaluation and Owner's subsequent written consent prior to purchasing, fabrication, delivery and installation.

13. All specified materials, components, equipment, systems, and assemblies requiring shop drawings, product data, and / or samples shall be submitted to the Architect for review and acceptance prior to purchasing, fabrication, delivery and installation.

14. Submittal Procedures:

    A. Processing time for Shop Drawings, Product Data and Samples:

       1. Allow fourteen (14) calendar days for each submittal. Allow additional time if processing must be delayed to permit coordination with subsequent submittals. Architect will advise Contractor when a submittal being processed must be delayed for said coordination.

    B. Number of Submittals Required:

       1. Shop Drawings: Submit black-line prints required for Contractor's use and one black-line print each for
       2. Owner, Architect and Architect's Consultants records.
          Product Data and Samples: Submit data and / or samples required for Contractor's use and one additional each for Owner, Architect and Architect's Consultants records.

    C. Contractor's Stamp:

       1. All submittals shall include Contractor's signed and dated stamp, certifying the review of submittal for full compliance with the Drawings.
       2. Architect will not review submittals that do not bear the Contractor's stamp and will return same without action.

DIVISION 3 - CONCRETE

1. Provide cast-in-place concrete, including, but not limited to, formwork, reinforcement, concrete materials, mix designs, placement and finishes.

2. Concrete Work shall conform to all requirements of "ACI 301, Specifications for Structural Concrete for Buildings," except as may be modified by Supplemental Requirements specified in the Structural Drawings included herein.

3. Contractor shall become familiar with all requirements of ACI 301, Supplemental Requirements, and Project Engineer of Records general notations and design criteria specified in the Structural Drawings included herein.

4. Concrete materials shall be obtained from a firm experienced in manufacturing Type I or III concrete products complying with ASTM C150 requirements for production facilities and equipment.

5. Concrete placement and finishing shall be performed by an experienced installer who has completed concrete Work similar in material, design, and extent to that indicated for this Project and whose Work has resulted in construction with a record of in-service performance.

6. Concrete Work shall conform to all applicable requirements of The Florida Building Code.

7. Precast Concrete Tilt-Up Wall Panels (as applicable): Provide Precast concrete tilt-up wall panels as specified or implied herein, including but not limited to, precast panel design, engineering, casting, and installation of panels, forms, casting beds, concrete, reinforcing steel and accessories, lifting inserts, brace inserts, erection and bracing, and accessories required to provide a complete finish product.

   A. Engage an experienced installer who has designed and installed precast concrete tilt-up wall panel assemblies and all applicable components and accessories similar to that indicated for this Project and obtained approval from governmental authorities having jurisdiction.

   B. Engineering Responsibility: Preparation of Working Drawings and Calculations.

      1. Design Documents shall include, but not limited to, reinforcing steel, Layout Drawings depicting detailed placement of embedded plates, anchors, lifting inserts, brace inserts, and all design requirements specified in the Structural Drawings included herein.

   C. Professional Engineering Qualifications: A professional engineer who is qualified to practice in jurisdiction where Project is located and who is experienced in providing the type of engineering services indicated. Engineering services are defined as those performed for installations of Precast concrete tilt-up wall panel assemblies that are similar to those indicated for this Project in design, material, and extent.

   D. Panels shall not be erected until concrete is fourteen (14) days old, unless otherwise indicated, unless concrete strength, as specified by Structural Drawings included herein, has been verified by cylinder testing.

      1. Erection process shall employ applicable spreader beams and cable rigging.
      2. Minimum cable lengths as indicated.
      3. Inspect inserts at beginning of lift to insure connections are holding properly.
      4. Lift in a continuous process until panel is vertical
      5. Avoid intermediate stops.
      6. Lower panels into position on shims or grout pads as indicated.
      7. Install bracing securely prior to removal of rigging.

DIVISION 4 - UNIT MASONRY ASSEMBLIES

1. Provide non-load bearing and load-bearing concrete unit masonry assemblies, as specified by Structural Drawings contained herein including, but not limited to, reinforcement, anchors, ties, mortar and grout, masonry joint reinforcement and accessories.

2. Provide materials of weight, size, texture, grade, shapes, and strength as specified by Structural Drawings contained herein.

3. Lay out walls in advance for accurate spacing of surface bond patterns with uniform joint thickness and for accurate location of openings, movement-type joints, returns, and offsets. Avoid using less-than-half-size units, particularly at corners, jambs and, where possible, other locations.

4. Bond Pattern: Provide common bond with vertical joints centered over masonry unit below, unless otherwise specified. Bond masonry at corners and intersections.

5. Laying Units: Lay masonry plumb and true to line with level and accurately spaced courses. Maintain bond plumb throughout.

DIVISION 5 - METAL FABRICATIONS

1. Provide metal fabrications, as specified or implied herein including, but not limited to, all ferrous metal, aluminum, and stainless steel components / assemblies required to provide a complete finished product.

2. Fabricator Qualifications: Metal fabrications shall be performed by a firm experienced in producing metal fabrications similar in material, design, and extent to those indicated for this Project and with a record of successful in-service performance, as well as sufficient production capacity to produce required items.

3. Field Measurements: Where metal fabrications are specified to fit walls and other adjacent construction, field verify all existing conditions and dimensions prior to fabrication and indicate same on Shop Drawings. Coordinate fabrication schedule with construction progress to avoid delaying the Work.

4. Coordinate installation of anchorages for metal fabrications. Furnish setting Drawings, templates and directions for installing anchorages, including sleeves, concrete inserts, anchor bolts, and items with integral anchors, that are to be embedded in concrete or masonry. Deliver all such items to Project Site in time for installation.

5. Shop Assembly: Preassemble items in shop to greatest extent possible to minimize field splicing and assembly. Disassemble units only as necessary for shipping and handling limitations. Use connections that maintain structural value of joined components. Clearly mark units for reassembly and coordinated installation.

6. Where metal fabrications are to be placed in connection with dissimilar materials, all contact surfaces shall be coated with an improved zinc chromate primer of ten-mil dry film thickness (min).

7. Exposed metal components shall have all rough edges, sharp corners and welded joints ground and buffed smooth.

DIVISION 6 - CARPENTRY

1. Provide rough and finish carpentry and cabinetry (as applicable), as specified or implied herein and as follows:

2. Do not use materials with defects or that are unsound, warped, improperly treated or finished, inadequately seasoned, or pieces that are too small to fabricate with minimum number of joints or optimum jointing arrangements.

   A. Use common wire nails unless otherwise indicated. Select fasteners of size that will not fully penetrate members where opposite side will be exposed to view or will receive finish materials. Make tight connections between members. Install fasteners without splitting wood, predrill as required.

   B. All nails used in exterior applications shall be hot-dipped galvanized.

   C. Use finishing nails for exposed Work, unless otherwise indicated. Countersink nail heads and fill holes with wood filler.

3. Rough Carpentry: Set rough carpentry to required levels and lines, with members plumb, true to line, cut and fitted. Fit rough carpentry to other construction; scribe and cope as needed for accurate fit. Locate furring, nailers, blocking and similar supports to requirements for the attachment of other construction. Form to shapes indicated and cut, as required for true line and level of attached Work and rigidly secure in place. Coordinate locations with other Work involved.

   A. Provide 2-inch by 4-inch wood blocking at the perimeter of all interior doors and window openings. Provide double plates above headers of all openings greater than 4-feet, 0-inches in width.

   B. All door and window frames shall receive caulk around the entire assembly perimeter.

   C. Securely attach rough carpentry Work to substrate by anchoring and fastening as indicated.

   D. All wood in contact with cementitious material shall be pressured-treated as follows:

      1. Borate based preservative - for above ground applications that are continuously protected from liquid water.
      2. Copper based preservative - for full exposure to above ground, ground contact, and freewater conditions.
      3. All metal products, used in conjunction with pressure-treated wood shall be in accordance with publicized recommendations of the metal products manufacturer and wood preservative products manufacturer.
      4. Apply field treatment complying with AWPA M4 to cut surfaces of preservative-treated lumber and plywood.

4. Finish Carpentry: Examine substrates, with installer present, for compliance with installation tolerances and other conditions affecting performance. Proceed with installation only after unsatisfactory conditions have been corrected.

5. Clean substrates of projections and substances detrimental to application.

   B. Prior to installation of finish carpentry, condition materials to average prevailing humidity in installation areas for a minimum of 24-hours, unless longer conditioning is recommended by manufacturer.

   C. Install finish carpentry level, plumb, true, and aligned with adjacent materials. Use concealed shims where necessary for alignment.

   D. Install to tolerance of 1/8-inch in 96-inches for level and plumb. Install adjoining finish carpentry with 1/32-inch maximum offset for flush installation and 1/16-inch for maximum offset for reveal installation.

   E. Coordinate finish carpentry with materials and systems in or adjacent to it. Provide cutouts for mechanical and electrical items that penetrate finish carpentry.

   F. Cabinetry: Contractor shall coordinate the purchasing and installation of Owner selected cabinetry and fixtures.

      1. Cabinetry work shall be installed plumb, level, true, square and secure in place with tight joints.

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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-8641

REVISIONS	BY

5-20-14
NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ARCHITECT OF RECORD AND ENGINEER OF RECORD AS APPLICABLE

Date 3-27-14
Scale
Drawn
Job 13-032
Sheet
SP-2
Of Sheets

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

1. Provide thermal and moisture protection products / assemblies and through-penetration firestop systems, as specified or implied herein including, but not limited to, modified bituminous membrane (built-up) roofing, metal flashing and roof accessories, building insulation, cold fluid-applied waterproofing at elevator pit (as applicable), through-penetration firestop systems, joint sealants, and concrete deck sealer required to provide a complete finished product.

2. Installer Qualifications: Engage an experienced installer to perform Work in connection with the application of thermal and moisture protection products / assemblies and through-penetration firestop systems who has specialized in the installation of systems similar in material, design, and extent to those indicated for this Project; who is approved, authorized, or licensed by applicable system manufacturer to install manufacturer's product; and who is eligible to receive standard product manufacturer's warranty.

3. Source Limitations: Obtain each component of thermal and moisture protection products / assemblies and through-penetration firestop systems through one source, from a single manufacturer, unless otherwise indicated.

4. Examine substrates and conditions, with installer present, under which products are to be installed. Proceed with installation only after unsatisfactory conditions have been corrected.

5. Commencement of thermal and moisture protection products installation will be construed as installer's acceptance of surfaces and conditions within a particular area.

5. Clean substrates and install all thermal and moisture protection products / assemblies and through-penetration firestop systems in accordance with manufacturer's written instructions and applicable industry standards.

DIVISION 8 - DOORS AND WINDOWS

1. Provide door and window products / assemblies, as specified or implied herein including, but not limited to, steel doors, steel doorframes, fire-rated door and frame assemblies, wood door and frame assemblies, aluminum-framed glass doors and windows, overhead coiling and / or vertical lift doors (as applicable), door hardware, and accessories required to provide a complete finished product.

2. Installer Qualifications: Engage firms experienced in the manufacturer and installation of door and window assemblies, specified or implied herein, to perform Work associated therewith and have specialized in the manufacturer and installation of products similar in material, design, and extent to those indicated for this Project.

3. Source Limitations: Obtain all like doors, windows and hardware through one source, from a single manufacturer, unless otherwise indicated.

4. Fabricate all door and windows in sizes specified. Include complete system for assembly of components and anchorage of door and window units.

5. Examine openings and conditions, with installer present, under which doors and windows are to be installed.

   A. Verify that openings comply with specified requirements for locations, substrates, structural support, anchorage, rough opening dimensions, installation tolerances, operational clearances, and other conditions affecting performance of Work.

   B. Masonry Surfaces: Visibly dry and free from excess mortar, sand and other construction debris.

   C. Proceed with installation only after unsatisfactory conditions have been corrected.

   D. Commencement of doors and windows placement will be construed as installer's acceptance of openings and conditions within a particular area.

6. Install doors and windows plumb and level, true to line, without warp, distortion, or rack, anchored securely in place to structural support, in proper relation to adjacent construction, and in accordance with Manufacturer's written instructions.

7. Templates: Obtain and distribute to all parties involved, templates for doors, frames, and other Work specified to be factory prepared for installing door hardware. Check Shop Drawings of other Work to confirm that adequate provisions are made for locating and installing door hardware to comply with indicated requirements.

8. Install each hardware item in accordance with manufacturer's written instructions. Where cutting and fitting are required to install door hardware onto surfaces that are later to be painted or finished in another way, coordinate removal, storage, and reinstallation of surface protective trim units with finishing Work. Do not install surface-mounted items until finishes have been completed on substrates involved.

9. Keying shall be as directed by Owner's representative.

10. Glazing: Provide glazing systems capable of withstanding normal thermal movement and wind and impact loads without failure, including loss or glass breakage attributable to defective manufacture, fabrication and installation, failure of sealants or gaskets to remain watertight and airtight, deterioration of glazing materials, or other defects in construction.

DIVISION 9 - FINISHES

1. Provide interior and exterior finish materials, products and accessories as specified or implied herein including, but not limited to, Portland cement plaster and stucco, styrene molding, gypsum board assemblies, ceramic tile, carpeting, and painting required to provide a complete finished product.

   A. Installer / Applicator Qualifications: Engage firms experienced in the installation / application of finish materials, products and accessories specified or implied herein, to perform Work associated therewith and have specialized in the installation / application of products similar in material, design, and extent to those indicated for this Project.

2. Portland Cement Plaster and Stucco: Comply with ASTM C926 for base and finish-coat mixes as applicable to plaster / stucco bases, materials and other requirements indicated.

2. Portland Cement Plaster and Stucco: Comply with ASTM C926 for base and finish-coat mixes as applicable to plaster / stucco bases, materials and other requirements indicated.

3. Examine substrates and conditions, with installer present, under which products are to be installed. Proceed with installation only after unsatisfactory conditions have been corrected. Commencement of plaster / stucco application will be construed as installers acceptance of surfaces and conditions within a particular area.

   A. Clean plaster / stucco bases and substrates for direct application of plaster / stucco, removing loose material and substrates that may impair the Work.

   B. Apply bonding agent on concrete and concrete unit masonry surfaces indicated for direct plaster / stucco application; comply with manufacturer's written instructions for application.

   C. Immediately prior to plaster / stucco application, dampen concrete and concrete unit masonry surfaces that are indicated for direct plaster / stucco application, except where a bonding agent has been applied. Determine and apply amount of moisture and degree of saturation that will result in optimum suction for plaster / stucco application.

   D. Comply with industry standards for provision and location of plaster / stucco accessories. Miter or cope accessories at corners and install with tight joints. Attach accessories securely to plaster / stucco bases to hold accessories in place and in alignment during plaster / stucco application.

   E. Install control joints at locations indicated or, if not indicated, at locations as may be required to prevent excessive cracking or crazed conditions, and approved by Architect.

   F. Apply plaster / stucco materials, compositions and mixes to comply with ASTM C926.

4. Exterior Styrene Molding: Exterior polystyrene foam moldings with factory applied "Tough Coat" cut coral finish - painted (color to be selected by Owner) in profiles and shapes indicated. Provide end extension mitered returns at sill profile; horizontally and vertically.

   A. Examine substrates and conditions, with installer present, under which products are to be installed. Proceed with installation only after unsatisfactory conditions have been corrected.

   B. Fasten / adhere exterior styrene moldings to exterior concrete / masonry, at locations indicated, in accordance with manufacturer's written recommendations.

      1. Seal all joints in accordance with manufacturer's written recommendations.

   C. Mechanical fasteners shall be noncorrosive type and countersunk.

      1. Countersunk voids shall be backfilled with materials to match finish and color of molding.

5. Gypsum Wallboard Assemblies: For non-fire rated gypsum wallboard assemblies, comply with applicable requirements of The Florida Building Code, ASTM C754, and C840. For gypsum wallboard assemblies with fire-resistant ratings, provide materials and construction identical to those tested in assemblies indicated according to ASTM E119 by an independent testing and inspecting agency acceptable to authorities having jurisdiction over the Project.

   A. Examine areas, structural framing, and substrates, with installer present, for compliance with requirements and other conditions affecting performance of the Work.
      1. Contractor shall finish and install vertical slip joint framing as may required for attachment of gypsum wallboard assemblies to building structure.

   B. Proceed with installation only after unsatisfactory connections have been corrected.
      1. Gypsum wallboard material shall be attached to framing at a minimum of 5/8 inches above building floor surface.

   C. Provide and install all applicable gypsum wallboard accessories to include, but not limited to, corner beads, fasteners, expansion joints and control joints. Expansion and control joints shall be installed in accordance with applicable requirements of ASTM C1047.
      1. Treat gypsum wallboard joints, interior angles, edge trim, control joints, penetrations, fastener heads, surface defects, and elsewhere as required to prepare gypsum wallboard surfaces for decoration. Promptly remove residual joint compound from adjacent surfaces.

   D. Prefill open joints and damaged surface areas.

   E. Apply joint tape over gypsum wallboard joints.

   F All gypsum wallboard surfaces shall receive a smooth finish, without divots, bumps, bows or other surface blemishes, ready to receive paint and / or finish materials indicated.

   G. Comply with standards of ASTM C840 and GA-216 for gypsum wallboard application and finishing.

6. Ceramic Tile: Obtain each color, grade, finish, type, composition and variety of tile through one source, from a single manufacturer, unless otherwise indicated, with resources to provide products from the same production run for each contiguous area with consistent quality in appearance and physical properties without delaying the Work. Setting and grouting material ingredients shall also be of uniform quality for each mortar, adhesive and grout component, obtained through one source from a single manufacturer, unless otherwise indicated.

   A. Examine substrates, areas and conditions, with installer present, where tile will be installed for compliance with requirements for installation tolerances and other conditions affecting performance of the Work.
      1. Verify that substrates for setting tile are firm; dry; clean; free of oil, waxy films, and curing compounds; and within flatness tolerances required by ANSI A108 series of tile installation standards for installations indicated.
      2. Verify that installation of grounds, anchors, frames, electrical and mechanical units of Work, and similar items located in, behind or below tile have been completed prior to tile placement.
      3. Verify that joints and cracks in tile substrates are coordinated with tile joint locations.
      4. Proceed with installation only after unsatisfactory connections have been corrected.
      5. Commencement of ceramic tile placement will be construed as installer's acceptance of substrate and conditions within a particular area.

   B. Comply with parts of ANSI A108 series of tile installation standards in "Specifications for Installation of Ceramic Tile" for applicable types of setting and grouting materials.

   C. Comply with installation guidelines enumerated in TCA'S "Handbook for Ceramic Tile Installation."

7. Acoustical Panel Ceilings: Provide acoustical panel ceiling assemblies as specified or implied herein including, but not limited to, acoustical panels, wall angles, main runners and cross tees, hangers, and accessories required to provide a complete finished product.

   A. Coordinate installation and placement of inserts. Coordinate Work with mechanical and electrical Work being performed in areas receiving acoustical ceilings to avoid conflict with other trades.
      1. Piping, ducts, electrical and other Work that is to be concealed by the ceiling shall be completed, tested and inspected prior to installation of acoustical units.
      2. Specified ceiling height and level shall be established prior to installation of acoustical units.

   B. Comply with fire resistant rating as required by The Florida Building Code, NFPA 101 and all governmental authorities having jurisdiction over the Project.

   C. Install suspension system and acoustical panels in accordance with manufacturer's written recommendations and the following:
      1. Install acoustical panels only when temperatures and humidity conditions approximate the interior conditions that will exist when the building is occupied.
      2. Provide pattern and layout in accordance with Reflected Ceiling Drawings included herein.
      3. Suspend acoustical panel ceiling where indicated on Drawings, properly leveled with faces in plane, and all grid members straight and in alignment.
      4. Install suspension system in accordance with ASTM C636, within a tolerance of 1/8-inch in 12-feet.
      5. Accurately fit acoustical panels in suspension system. Cut panels as required to fit abutting surfaces. Balance border areas to avoid use of panels less than 1/2-panel in width wherever possible.
      6. Secure panels with spring type hold down clips at areas where smoke evacuation system occurs (as applicable).

8. Carpet: Provide products with the critical radiant flux classification as determined by The Florida Building Code and NFPA 101.

   A. Examine substrates, areas and conditions, with installer present, for compliance with requirements for maximum moisture content, alkalinity range, installation tolerances, and other conditions affecting carpet performance. Verify that substrates and conditions are satisfactory for carpet installation and requirements specified.
      1. Subfloors are free of cracks, ridges, depressions, scale and foreign deposits.

   B. Proceed with installation only after unsatisfactory connections have been corrected.

   C. Commencement of carpet placement will be construed as installer's acceptance of substrate and conditions within a particular area.

   D. Comply with manufacturer's written recommendations for the installation of glue-down material, stretch-in material and carpet cushion as applicable to Project.

9. Painting: Unless otherwise indicated, paint all exposed exterior and interior surfaces. If Drawings do not specifically reference an item or surface, paint the item or surface in question the same as adjacent materials or surfaces, whether or whether not referenced by Drawings. If Drawings do not indicate color or finish, the Architect and or Owner will select from manufacturer's full range of colors and finishes available, as provided by Contractor.

   A. Source Limitations: Obtain block fillers, primers, and undercoat materials for each coating through one source, from a single manufacturer, unless otherwise indicated.

   B. Examine substrates, areas and conditions, with the applicator present, under which painting will be preformed for compliance with paint application requirements. Determine alkalinity and moisture by performing appropriate test. If surfaces are sufficiently alkaline to cause the finish to blister and burn, correct this condition prior to application. Do not paint surfaces where alkalinity level and moisture content exceeds that permitted in manufacturer's written instructions. Clean all substrates of substances that could impair the bond of various coatings. Remove oil and grease before cleaning.
      1. Do not begin to apply paint until all unsatisfactory conditions have been corrected to the complete satisfaction of applicator and surfaces receiving paint are thoroughly dry.
      2. Commencement of painting will be construed as the applicator's acceptance of surfaces and conditions within a particular area.

   C. Remove hardware and hardware accessories, plates, machined surfaces, lighting fixtures, and similar items previously installed that are not to be painted. If removal is impractical or impossible because of the size and weight of the item, provide surface-applied protection before surface preparation and painting.
      1. Following completion of painting operations in each area or space, reinstall removed items using workers skilled in the trades involved.

   D. Apply paint according to manufacturer's written instructions. Use applicators and techniques best suited for substrate and type of material being applied.

DIVISION 10 - SPECIALTIES

1. Toilet Compartments: Provide overhead braced and floor anchored compartment style toilet compartments as specified or implied herein to include, but not limited to, standard panels, doors, screens, and pilasters fabricated for compartment system (as applicable).

   A. Verify dimensions in areas of installation by field measurements prior to fabrication and indicate measurements on Shop Drawings. Coordinate fabrication schedule with construction progress to avoid delaying the Work.

   B. Comply with manufacturer's written installation instructions. Install units rigid, straight, plumb, and level. Provide clearances of not more than 1/2-inch between pilasters and panels and not more than 1-inch between panels and walls. Secure units in place with manufacturer's recommended anchoring devices.

   C. Secure pilasters to floor and level. Plumb and tighten. Secure continuous head rail to each pilaster with not less than two (2) fasteners. Hang doors and adjust so tops of doors are parallel with overhead brace when doors are in closed position.

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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL 33166 Phone: (305) 887-9541

REVISIONS	BY

5-20-14

RELEASED FOR CONSTRUCTION
THESE SHEETS ARE RELEASED FOR CONSTRUCTION AS NOTED. ALL PREVIOUS VERSIONS ARE SUPERSEDED AND NO LONGER VALID.

Date	3-27-14
Scale	
Drawn	
Job	13-032
Sheet	SP-3
Of	Sheets

2. Toilet and Bath Accessories: Provide toilet and bath accessories as specified or implied herein (as applicable).

   A. Source Limitations: Obtain toilet and bath accessories through one source, from a single manufacturer, unless otherwise indicated.

   B. Install accessories according to manufacturer's written instructions, using fasteners appropriate to substrate indicated and recommended by unit manufacturer. Install unit's level, plumb and firmly anchored in locations and at heights indicated.

   C. Secure mirrors to walls in concealed, tamper-proof manner with special hangers, toggle bolts or screws (unless otherwise indicated). Set units level, plumb, and square at locations indicated, according to manufacturer's written instructions for substrate indicated.

   D. Install grab bars to withstand a downward load of at least 250 lbf, when tested according to ASTM F446.

3. Fire Protection Specialties: Provide UL listed and labeled portable fire extinguishers, mounting brackets, and cabinets (as applicable as indicated.

   A. Source Limitations: Obtain portable fire extinguishers, mounting brackets and cabinets (as applicable) through one source, from a single manufacturer, unless otherwise indicated.

   B. NFPA Compliance: Fabricate and label portable fire extinguishers to comply with NFPA 10, "Standard for Portable Fire Extinguishers."

   C. Comply with manufacturer's written instructions for installing fire-protection specialties.

   D. Install portable fire extinguishers, mounting brackets, and cabinets (as applicable) in locations indicated, at a maximum height of 5-feet AFF and in accordance with all applicable governmental authorities having jurisdiction over the Project.

      1. Fasten mounting brackets to structure, square and plumb.
      2. Fasten cabinets (as applicable) to structure, square and plumb.

   E. Examine extinguishers for proper charging and tagging.

      1. Remove and replace damaged, defective or uncharged units.

DIVISION 11 - EQUIPMENT (SEE SHEETS A-16 THROUGH A-16.2)

DIVISION 12 - FURNISHING / NOT USED

DIVISION 13 - SPECIAL CONSTRUCTION

1. Fire-Suppression Sprinklers: Provide a complete fully automatic fire-suppression system as specified or implied herein to include, but not limited to, system design, engineering, manufacture, and installation.

   A. Engage an experienced installer who has designed and installed fire-suppression piping similar to that indicated for this Project and obtained approval from governmental authorities having jurisdiction.

   B. Engineering Responsibility: Preparation of Working Drawings and Calculations by a qualified professional engineer. Calculations shall be based upon results of a fire-hydrant flow test according to NFPA 13 and NFPA 291.

   C. Professional Engineer Qualifications: A professional engineer who is legally qualified to practice in jurisdiction where Project is located and who is experienced in providing the type of engineering services indicated. Engineering services are defined as those performed for installations of fire-suppression piping that are similar to those indicated for this Project in design, material, and extent.

   D. Manufacturer Qualifications: Engage a firm whose equipment, specialties, and accessories are listed by product name and manufacturer in UL'S "Fire Protection Equipment Directory" and FM'S "Fire Protection Approval Guide" and that comply with other requirements indicated.

DIVISION 14 - CONVEYING SYSTEMS / NOT USED

DIVISION 15 - MECHANICAL

1. Provide mechanical and plumbing equipment, systems, piping, and assemblies, as specified or implied by Contract Documents.

   A. Drawings indicate general location and arrangement of equipment, systems, piping, and assemblies and are diagrammatic by nature and intended to illustrate the general arrangement of equipment, systems, piping, and assemblies outlined in the Drawings.

   B. Coordinate chases, slots, inserts, sleeves, supporting devices, and openings with general construction Work and arrange in building structure during process of construction to facilitate the mechanical and plumbing installations that follow.

      1. Set inserts, sleeves, and supporting devices in poured-in-place concrete, masonry, and other structural components as they are constructed.
      2. All plumbing work shall be installed and tested in accordance with the latest edition of the National Plumbing Code and all applicable governmental authorities having jurisdiction over the Project.

   C. Coordinate requirements for access panels and doors for mechanical and plumbing items requiring access that are concealed behind finished surfaces.

   D. Install mechanical components to allow maximum possible headroom unless otherwise indicated.

   E. Install mechanical components level and plumb, parallel, and perpendicular to other building systems and components in exposed interior spaces, unless otherwise indicated.

   F. Install mechanical components to facilitate service, maintenance, and repair or replacement of components. Connect equipment for ease of disconnecting, with minimum interference to other installations. Extend grease fittings to accessible locations.

   G. Install mechanical components to allow right-of-way for piping installed at required slope.

DIVISION 16 - ELECTRICAL

1. Provide electrical components, devices, and accessories, as specified or implied herein.

   A. Drawings indicate general location of electrical components, devices, and accessories and are diagrammatic by nature and intended to illustrate the general arrangement of electrical components, devices, and accessories outlined in the Drawings.

   B. All electrical components, devices, and accessories shall be listed and labeled by Underwriters Laboratory (UL).

   C. Coordinate chases, slots, inserts, sleeves, supporting devices, and openings with general construction Work and arrange in building structure during process of construction to facilitate the electrical installations that follow.

      1. Set inserts, sleeves, and supporting devices in poured-in-place concrete, masonry, and other structural components as they are constructed.

   D. Sequence, coordinate, and integrate installing electrical materials and equipment for efficient flow of the Work. Coordinate installing large equipment requiring positioning prior to closing in the building.

   E. Coordinate electrical service connections to components furnished by utility companies.

      1. Coordinate installation and connection of exterior underground and overhead utilities and services, including provision for electricity-metering components.
      2. Comply with requirements of governmental authorities having jurisdiction over the Project and of utility companies from which service is to be obtained.

   F. Install electrical components to allow maximum possible headroom unless otherwise indicated.

   G. Install electrical components level, plumb, parallel, and perpendicular to other building systems and components in exposed interior spaces, unless otherwise indicated.

   H. Install electrical components to facilitate service, maintenance, and repair or replacement of components. Connect electrical components for ease of disconnecting, with minimum interference to other installations.

   I. Install electrical components to allow right-of-way for piping installed at required slope.

   J. Where electrical identification devices are applied to field-finished surfaces, coordinate placement of identification devices with completion of finished surface.

2. Fire-Alarm and Detection System: Provide a complete fire-Alarm and detection system as specified or implied herein to include, but not limited to, system design, engineering, manufacture, and installation.

   A. Engage an experienced installer who has designed and installed fire-alarm and detection systems and all applicable system components and accessories similar to that indicated for this Project and obtained approval from governmental authorities having jurisdiction.

   B. Engineering Responsibility: Preparation of Working Drawings and Calculations by a qualified professional engineer. System design and installation shall be based upon NFPA 70 compliance conforming to the requirements of the following publications:

      1. NFPA 72A, "Installation, Maintenance, and Use of Local Protective Signaling Systems for Guard's Tour, Fire Alarm, and Supervisory Service."
      2. NFPA 72E, "Automatic Fire Detectors."
      3. NFPA 72F, "Installation, Maintenance, and Use of Emergency Voice / Alarm Communication Systems."
      4. NFPA 72G, "Guide for the Installation, Maintenance and Use of Notification Appliances for Protective Signaling Systems."

   C. Professional Engineer Qualifications: A professional engineer who is legally qualified to practice in jurisdiction where Project is located and who is experienced in providing the type of engineering services indicated. Engineering services are defined as those performed for installations of fire-alarm and detection systems that are similar to those indicated for this Project in design, material, and extent.

   D. Manufacturer Qualifications: Engage a firm whose equipment, specialties, and accessories are listed and labeled by Underwriters Laboratory (UL) and that comply with other requirements indicated.

   E. Single-Source Responsibility: Obtain fire-alarm and detection system components through one source, from a single manufacturer, who assumes responsibility for compatibility for system components furnished.

   F. Install fire-alarm and detection system in accordance with NFPA Standards referenced herein and other requirements indicated.

   D. Fire-Alarm and Detection System Power Supply Disconnect: Paint red and label "FIRE ALARM." Provide with lockable handle or cover.

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INTERIOR ALTERATIONS FOR:
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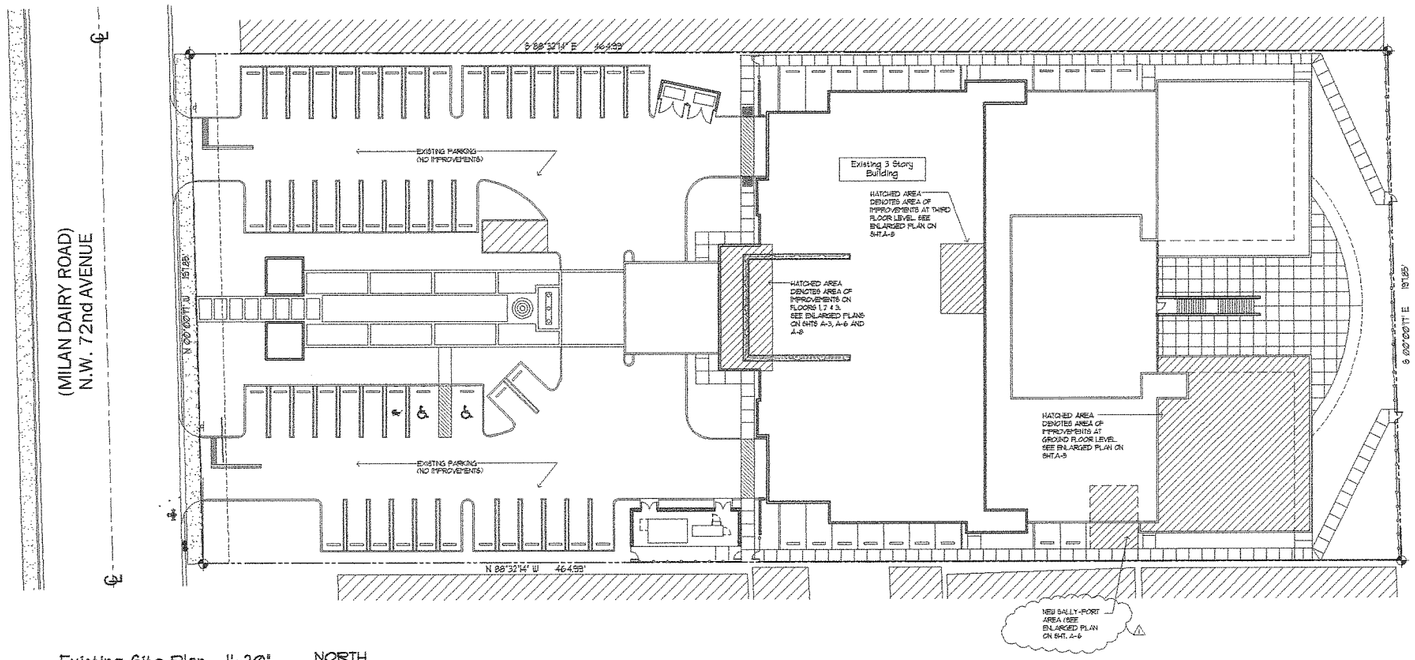
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL 33166 Phone: (305) 887-9541

REVISIONS	BY

5-20-14

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ARCHITECT OR ENGINEER AND ASSIGNED AN ACTIVE STATUS

Date	3-27-14
Scale	
Drawn	
Job	13-032
Sheet	SP-4
Of	Sheets



Existing Site Plan 1'=20'

NORTH

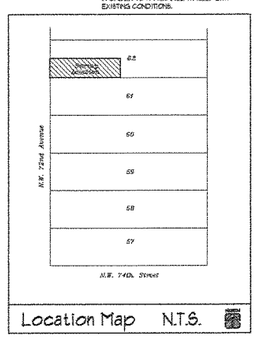
LEGAL DESCRIPTION

THE SOUTH 151.85 FEET OF THE WEST 309 FEET OF TRACT 61, FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION, IN SECTION 11, TOWNSHIP 53 SOUTH, RANGE 40 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2 AT PAGE 11, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE ROAD RIGHT-OF-WAY FOR MILAN DAIRY ROAD.

SCOPE OF WORK

FIRST FLOOR	1.- INTERIOR ALTERATIONS TO GROUND FLOOR AREA INCLUSIVE OF NEW POLICE HOLDING CELLS, LOCKERS, SUPPLY ROOMS, ETC. PLUS A SECURED SALLY-PORT AREA. 2.- LEGALIZATION OF MAYORS OFFICE & RECEPTIONIST AT EXISTING GROUND FLOOR LOBBY.
SECOND FLOOR	1.- CREATE NEW TRAINING ROOM / MULTI-PURPOSE ROOM BY EXTENDING A NEW SECOND FLOOR STRUCTURE OVER THE EXISTING THREE STORY LOBBY.
THIRD FLOOR	1.- CREATE NEW ROLL-CALL ROOM & SERGEANTS ROOM BY EXTENDING A NEW THIRD FLOOR STRUCTURE OVER THE EXISTING THREE STORY LOBBY. 2.- EXPAND EXISTING DETECTIVES OFFICE, MODIFY EXISTING STORAGE ROOM & CREATE NEW OFFICE ADJACENT TO DETECTIVES OFFICE.

* SCOPE OF WORK DESCRIPTION HEREIN DOES NOT INCLUDE ALL SPECIFIC ITEMS RELATED TO THE WORK. CONTRACTOR SHALL EXAMINE EVERY SHEET FOR SPECIFIC WORK REQUIRED FOR EACH TRADE AND SHALL VISIT THE SITE IN ORDER TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS.



Location Map N.T.S.

MINIMUM INTERIOR FINISH CLASSIFICATION

OCCUPANCY	SPRINKLERED			UNSPRINKLERED		
	EXIT		OTHER SPACES	EXIT		OTHER SPACES
	EXITS	ACCESS		EXITS	ACCESS	
A-3, A-4, A-5	B	B	C	A	A[d]	C
B	B	C	C	A	B	C
S	C	C	C	B	B	C
I-3	A	A[d]	C	A	A	B

d - LOBBY AREAS IN A-1, A-2 AND A-3 OCCUPANCIES SHALL NOT BE LESS THAN CLASS 'B' MATERIALS.

EXISTING BUILDING DATA

OCCUPANCY — B (BUSINESS)

TYPE OF CONSTRUCTION — TYPE II(A) - SPRINKLED

MAXIMUM HEIGHT ALLOWED — 65'

MAXIMUM AREA ALLOWED — 85,500 SF. (SEE NOTE BELOW)

AREA ALLOWED (TABLE 505) — 28,500 SF.

AUTOMATIC SPRINKLER SYSTEM INCREASE (506.3) — 200% INCREASE

28,500 X 200 % = 57,000 SF.
57,000 + 28,500= 85,500 SF.

EXISTING AREA — 17,795 SF.

FIRE RESISTANT REQUIREMENT- TABLE 601

STRUCTURAL FRAME (COLUMNS, GIRDERS, TRUSSES)	1 HOUR
BEARING WALLS	
EXTERIOR (AS PER TABLE 602- ≥ 10')	2 HOURS
INTERIOR	0 HOUR
FLOOR CONSTRUCTION	1 HOUR
ROOF CONSTRUCTION	1 HOUR

CODES UNDER EFFECT — FLORIDA BUILDING CODE 2010 EXISTING BUILDING LEVEL II ALTERATIONS.
FLORIDA FIRE PREVENTION CODE NFPA 101 (2009 edition) MODIFICATION LEVEL

GENERAL NOTES

1. THESE DRAWINGS ARE THE PROPERTY OF RODRIGUEZ PEREIRA ARCHITECTS, INC. AND SHALL NOT BE USED, REPRODUCED, OR ALTERED IN ANY WAY WITHOUT THE PRIOR EXPRESSED WRITTEN CONSENT OF THE ARCHITECT. ANY CHANGES, DELETIONS OR ADDITIONS TO THESE DRAWINGS WITHOUT THE ARCHITECT'S CONSENT IS STRICTLY PROHIBITED.
2. ANY AND ALL ITEMS REQUIRED TO FURNISH A COMPLETE CONSTRUCTION, BUT NOT SPECIFICALLY SHOWN OR SPECIFIED ON THE DRAWINGS SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE TO THE FLORIDA BUILDING CODE AND LOCAL ORDINANCES AND IN GOOD WORKMANLIKE MANNER.
3. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS REQUIRED TO COMPLETE THE WORK.
4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE EXISTING BUILDING, BUILDING UTILITIES OR WORK NOT SPECIFICALLY SHOWN OR SPECIFIED ON THESE DRAWINGS.
5. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED BUILDING PERMITS, INSURANCES, LICENSES, TAXES, ETC. REQUIRED TO PERFORM THE WORK OUTLINED IN THE DRAWINGS.
6. ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
7. THE CONTRACTOR SHALL COORDINATE AND SUPERVISE ALL THE WORK PERFORMED BY HIS FORCES AND BY SUBCONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION & VERIFICATION WITH OTHER TRADES TO ASSURE COMPLIANCE WITH THE APPROVED DRAWINGS.
8. THE CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT PRIOR TO COMMENCING THE WORK.
9. THE CONTRACTOR SHALL COORDINATE ALL PARKING, STORAGE, TRASH REMOVAL, ETC. WITH THE OWNER OR BUILDING MANAGER.
10. ABBREVIATIONS NOTED IN THE DRAWINGS OR SPECIFICATIONS ARE THOSE COMMONLY USED. THE ARCHITECT WILL DEFINE ANY ABBREVIATION QUESTIONED UPON REQUEST.
11. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BARRIERS, LIGHTING, COVERING, BRACING, SHORING, FIRE PREVENTION AND OTHER EQUIPMENT NECESSARY TO PROTECT THE SAFETY AND SECURITY OF ALL PERSONS AND THE PROPERTY THROUGHOUT THE ENTIRE PERIOD OF CONSTRUCTION.
12. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING FINISHES AND/OR ANY ITEMS DAMAGED DURING CONSTRUCTION TO MATCH THE ADJACENT EXISTING.
13. THE PLANS ARE NOT TO BE SCALED. THE PLANS AND DIAGRAMS SHOW RELATIVE LOCATIONS AND ACTUAL EXISTING LOCATIONS MAY VARY IN THE FIELD.
14. THE CONTRACTOR SHALL REVIEW EXISTING BUILDING SYSTEMS AND UTILITIES AS TO THEIR COMPLIANCE WITH THE FLORIDA BUILDING CODE AND OTHER APPLICABLE CODES AND NOTIFY THE ARCHITECT OF ANY NON-CONFORMING ITEMS FOUND.
15. SECTIONS AND DETAILS SHOWN TYPICAL ON THE PLANS MAY NOT BE SPECIFICALLY NOTED AT EACH APPLICABLE LOCATION; HOWEVER, THESE DETAILS MAY BE APPLICABLE OR MAY BE REQUIRED IN MORE THAN ONE LOCATION.
16. THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION SCHEDULES, PLANNED POWER OUTAGE, NIGHTTIME WORK, WEEKEND WORK AND WORK IN OTHER ADJACENT TENANT SPACES WITH THE OWNER PRIOR TO PERFORMING THE WORK.
17. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH ALL EQUIPMENT MANUALS AND WARRANTIES.
18. THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL MATERIALS AND LABOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER, AND WILL AT HIS OWN COST REPAIR OR REPLACE ALL WORK OR DAMAGED CAUSED BY THE WORK WHICH BECOMES DEFECTIVE DURING THE TERM OF THE GUARANTEE. THE TERM OF THE GUARANTEE AND OTHER SPECIFIC REQUIREMENTS MAY BE MODIFIED OR EXTENDED BY THE OWNER/CONTRACTOR AGREEMENT.
19. WHERE DISSIMILAR METALS COME IN CONTACT, THE CONTRACTOR SHALL PROVIDE PROPER INSULATION TO PREVENT GALVANIC OR ELECTROLYTIC ACTION AS WELL AS VIBRATION OR NOISE TRANSMISSION.
20. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A SET OF AS BUILT DRAWINGS INDICATING ALL FIELD CHANGES, ADDITIONS OR DELETIONS MADE DURING CONSTRUCTION.
21. ALL DEMOLITION SHALL BE COORDINATED WITH THE OWNER PRIOR TO PERFORMING THE WORK.
22. ROOF PENETRATIONS, IF ANY, SHALL BE DONE BY LANDLORD'S ROOFER.
23. ALL NEW MATERIALS/EQUIPMENT SHALL HAVE UL (UNDERWRITER'S LABORATORY) APPROVED LABEL AS ACCEPTED BY LOCAL AUTHORITY.
24. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH THE UTILITY COMPANIES TO ASSURE THAT IT COMPLIES WITH THEIR REQUIREMENTS.
25. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL CODES HAVING JURISDICTION AND WITH ALL REQUIREMENTS OF THE UTILITY COMPANIES WHOSE SERVICES SHALL BE USED.
26. ANY SUBSTITUTIONS MUST BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO FABRICATION OR PURCHASING.
27. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED OR DEVIATIONS FROM THE APPROVED PLANS REQ. BEFORE PROCEEDING WITH THE WORK INVOLVED. COMMENCEMENT OF THE WORK SHALL CONSTITUTE ACCEPTANCE OF EXISTING CONDITIONS.
28. IF DOUBT EXISTS IN THE MIND OF THE BIDDER AS TO THE TRUE MEANING OF ANY PART OF THESE CONSTRUCTION DRAWINGS, BIDDER MUST REQUEST THE INFORMATION IN WRITING FROM THE ARCHITECT IMMEDIATELY PRIOR TO SUBMITTING BID.
29. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
30. ALL MATERIALS SHALL HAVE A MINIMUM CLASS 'C' FLAME SPREAD RATING, UNLESS OTHERWISE NOTED ON PLANS.
31. ALL NEW DRYWALL SHALL MATCH EXISTING DRYWALL FINISHES.
32. CONTRACTOR SHALL PATCH AND REPAIR EXISTING WALLS, FLOORS, CEILINGS DAMAGED OR AFFECTED NEW CONSTRUCTION. ALL FINISHES SHALL BE COORDINATED W/ TOWN OF MEDLEY.
33. ALL PRE-MANUFACTURED ITEMS THAT ARE COMPONENTS OF THESE TENANT IMPROVEMENTS SHALL COMPLY WITH DADE COUNTY PRODUCT CONTROL APPROVAL, IF APPLICABLE.
34. EXISTING CONDITIONS SHOWN ON THESE PLANS REPRESENT CONDITIONS REFLECTED ON EXISTING PLANS PREPARED BY OUR OFFICE. IT IS NOT WARRANTED THAT THE CONDITIONS SHOWN ARE REPRESENTATIVE OF ACTUAL EXISTING CONDITIONS. RODRIGUEZ PEREIRA ARCHITECTS, INC. ASSUMES NO RESPONSIBILITY FOR EXISTING CONSTRUCTION DONE WITHOUT PERMITS.
35. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND CAREFULLY COMPARE SUCH FIELD MEASUREMENTS AND CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE DRAWINGS BEFORE COMMENCING WORK. ACTIVITIES, ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED BY OR MADE KNOWN TO THE CONTRACTOR SHALL BE PROMPTLY REPORTED TO THE ARCHITECT. THE CONTRACTOR'S COMMENCEMENT OF WORK SHALL CONSTITUTE ACCEPTANCE OF EXISTING CONDITIONS.
36. THIS PLAN IS INTENDED TO SHOW THE OVERALL SCOPE OF DEMOLITION WORK TO BE DONE. IT DOES NOT SHOW ALL OF THE SPECIFIC MINOR ITEMS EXISTING IN THE SPACE THAT WILL BE REQUIRED TO BE REMOVED TO COMPLETE THE WORK.
37. THE CONTRACTOR SHALL VISIT THE JOB SITE AND PERFORM A WALKTHRU WITH THE OWNER TO IDENTIFY THE SPECIFIC ITEMS NOT SHOWN ON THIS PLAN THAT WILL BE REMOVED AND COORDINATE WHICH ITEMS WILL BE DISPOSED OF AND WHICH WILL BE GIVEN TO THE OWNER FOR HIS STORAGE.
38. ALL WORK SHALL BE CUT, PATCHED OR MODIFIED AS REQUIRED AND REFINISHED AS WELL AS REFINISHING EXISTING ITEMS REMAINING TO ACHIEVE A CONSISTENT FINISH AND A SATISFACTORY COMPLETED CONDITION.
39. CONTRACTOR SHALL VERIFY ALL PLUMBING, MECH. AND ELECTRICAL ITEMS TO BE REMOVED OR RELOCATED PRIOR TO PERFORMING THE WORK.
40. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIRE STOPPING TO ALL EXISTING AND NEW PENETRATIONS THROUGH EXISTING AND NEW FIRE-RATED STRUCTURAL ASSEMBLIES (WALLS, PARTITIONS, ROOF) AT NO ADDITIONAL COST TO THE OWNER, REGARDLESS OF WHETHER OR NOT SUCH PENETRATIONS OR FIRESTOPPING DETAILS ARE SPECIFICALLY INDICATED ON PLANS.
41. EACH FIRESTOPPING SHALL BE RATED BY UNDERWRITERS LABORATORIES (UL) TO PROVIDE THE SAME OR GREATER FIRE-RATING AS THE STRUCT. ASSEMBLY THROUGH WHICH THE PENETRATION OCCURS, AND SHALL BE APPROPRIATE FOR HE PENETRATING ELEMENT AND CONDITIONS.
42. FIRESTOPPING ASSEMBLIES SHALL MEET OR EXCEED THE FIRE RESISTANCE REQUIREMENTS FOR BOTH F-RATING AND T-RATING, IN ACCORDANCE TO THE APPLICABLE CODES.
43. CONTRACTOR SHALL COORDINATE WITH THE POLICE DEPARTMENT ALL OF THE EQUIPMENT WHICH WILL BE IMPLEMENTED INTO THE PROCESSING AREA AND CELLS IN ORDER TO MEET ALL SECURITY REQUIREMENTS NECESSARY TO MAINTAIN A SAFE AND SECURED ENVIRONMENT FOR BOTH THE PUBLIC AND PRISONERS.

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INTERIOR ALTERATIONS FOR:

The Town of Medley - Florida

Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-3541

REVISIONS	BY
1 4-30-14	

5-20-14

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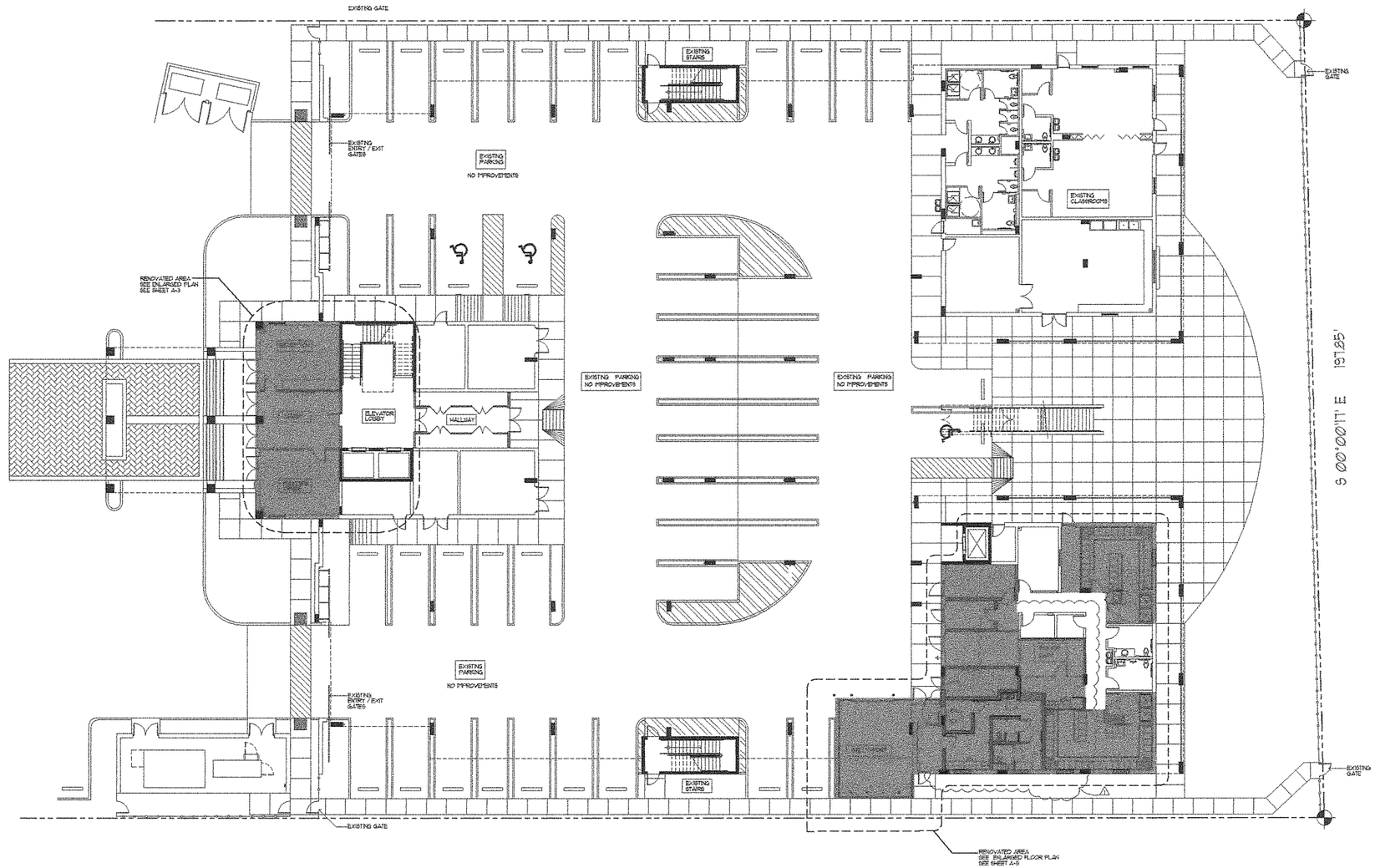
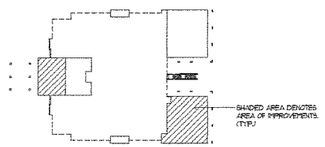


Building Ground Level Plan 3/32"

NORTH



Building Key Plan N.T.S.
Ground Floor Areas of Improvements.

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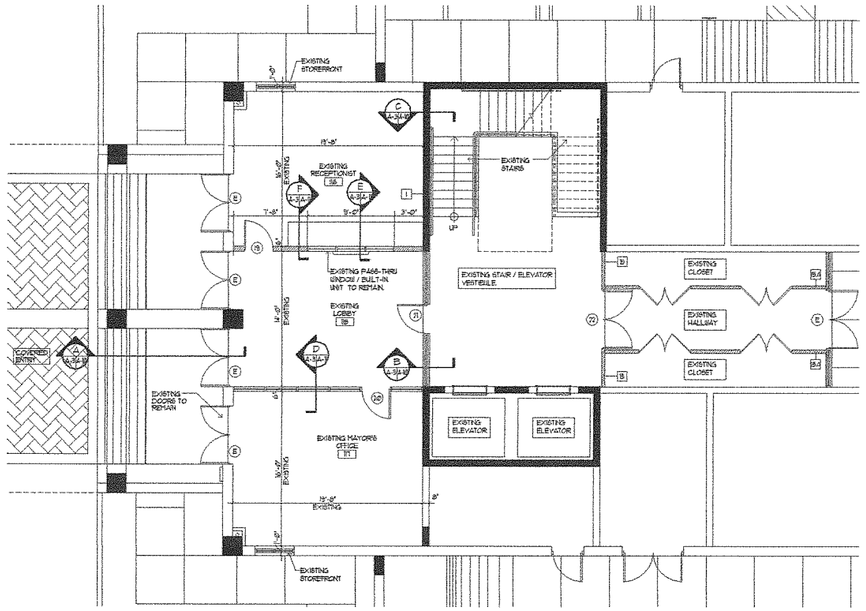
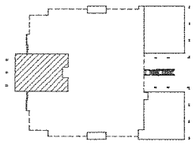


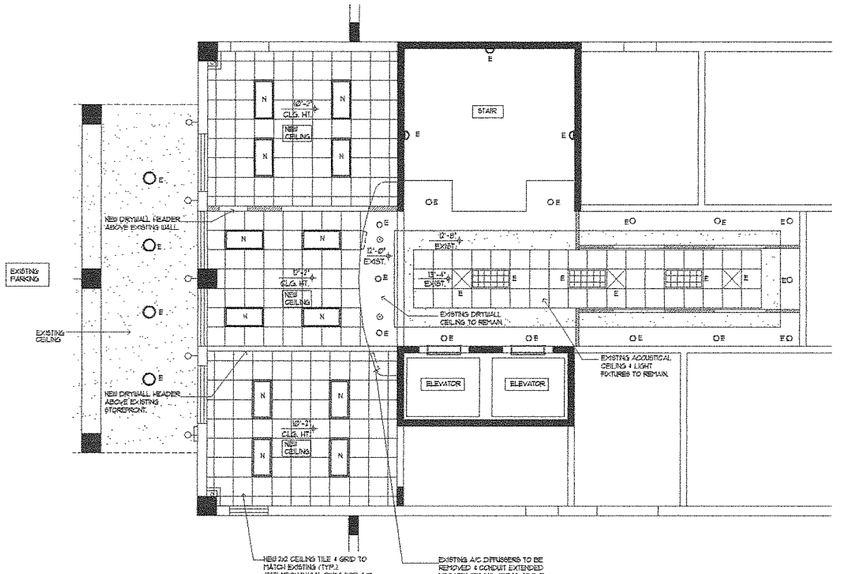
Enlarged Existing Ground Lobby Plan 3/16'

1.- CONTRACTOR SHALL PROVIDE SAFEGUARD BY WAY OF BARRICADES AND TUNNEL STRUCTURE IN ORDER TO ALLOW FOR OFFICE PERSONAL AND PUBLIC TO ACCESS THE BUILDING THROUGH THE FRONT DOORS ACESS THE RECEPTION AREA AND THE ELEVATOR CORE.

NORTH



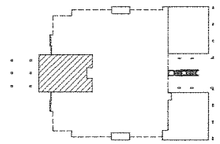
Building Key Plan N.T.S.
Ground Floor



Reflected Ceiling Lobby Plan 3/16'

Ground Floor

NORTH



Building Key Plan N.T.S.
Ground Floor

(#) – DOOR NUMBER

(B) – WINDOW TYPE

WALL TYPE E

WALL TYPE DESIGNATION

SECTION NAME

SECTION TAKEN FROM SHEET #

SECTION APPEARS ON SHEET #

SECTION DESIGNATION

CEILING NOTES:

1.- MOUNTING HEIGHTS OF ALL CEILING SYSTEMS SHALL BE IN ACCORDANCE WITH REFLECTED CEILING PLANS AND THE ROOM FINISH SCHEDULE.

2.- FOR LAYOUT OF CEILING MOUNTED A/C DIFFUSERS, SEE HVAC DRAWINGS.

3.- ACOUSTICAL CEILING TILE SHALL BE 2'x 2'-5/8" REVEAL EDGE TO MATCH EXISTING CEILING TILE + CEILING GRID. (FIELD VERIFY)

4.- BARRIER DECK CEILING PANEL IN HOLDING CELLS BY TRIMBELT OR EQUAL. SUBMIT SHOP DWGS FOR REVIEW.

5.- CONTRACTOR SHALL CAREFULLY REMOVE EXISTING CEILING TILES + GRID IN AREAS CALLED FOR IN THESE DRAWINGS. CEILING TILES SHALL BE STORED AND USED AS REPLACEMENT TILES FOR EXISTING TILES THAT ARE DAMAGED THROUGHT THE BUILDING!

LEGEND

E (EXISTING)		EXISTING A/C DIFFUSER TO REMAIN. SEE MECHANICAL DWGS FOR LOCATION OF NEW DIFFUSERS + A/C DUCT.
E (EXISTING)		EXISTING 2'x4' PARABOLIC FLUORESCENT LIGHT FIXTURES TO REMAIN
E (EXISTING)		EXISTING RECESSED ACCENT LIGHTING TO REMAIN
N (NEW)		NEW 2' X 4' FLUORESCENT LIGHT FIXTURE, TO MATCH EXISTING SEE ELECTRICAL DWGS
E (EXISTING)		EXISTING FIRE SPRINKLER HEAD. FIRE SPRINKLER CONTRACTOR TO ALTER / MODIFY EXISTING SYSTEM IN ORDER TO PROVIDE CODE-REQUIRED PROTECTION FOR NEW AREAS BEING ALTERED / MODIFIED. (SEEFPT SHOP DWGS FOR REVIEW)

WALL LEGEND

TYPE	DESCRIPTION
1	EXISTING DRYWALL SURFACE SHALL BE PATCHED TO MATCH EXISTING ADJACENT WALL FINISH ONCE NEW WALLS ARE ERECTED.
1A	EXISTING DRYWALL FINISH, INSULATION + FURRING CHANNELS SHALL BE COMPLETELY REMOVED. /EXISTING MASONRY SHALL BE NEATLY PATCHED ONCE NEW WALLS ARE ERECTED/ ALL EXPOSED MASONRY WALLS SHALL BE PATCHED, PREPED + SEALED PRIOR TO RECEIVING TWO COATS OF EPOXY PAINT FINISH. (COLOR AS SELECTED BY TOM.)
2	8" REINFORCED MASONRY WALL @ 1-16 VERT IN GROUT FILLED CELLS @ 4'-0" O/C @ MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH (23 MILS THICKNESS) FILL ALL CELLS WITH GROUT UP TO ELEVATION 40'-0" AFF. PROVIDE 5/8" DRYWALL FINISH OVER 1" METAL FURRING CHANNELS @ 24" O/C ON PROCESSING ROOM / HALLWAY SIDE.
2A	8" REINFORCED MASONRY WALL @ 5/8" DRYWALL FINISH ON 1" METAL FURRING CHANNELS @ 24" O/C ON E.A. SIDE.
2B	8" REINFORCED MASONRY WALL @ ARMOR-GLAZE WALL SYSTEM FINISH (23 MILS THICKNESS) ON BOTH SIDES OF WALL.
2C	8" REINFORCED MASONRY WALL @ ARMOR-GLAZE WALL SYSTEMS FINISH (23 MILS THICKNESS) ON INTERVIEW ROOM SIDE (2C) + 5/8" DRYWALL OVER 1" METAL FURRING CHANNELS @ 24 O/C ON VESTIBULE SIDE.
3	REMOVE EXISTING DRYWALL, INSULATION + FURRING CHANNELS PATCH-UP EXISTING BLOCK SURFACE PRIOR TO APPLYING MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH.
4	8" EXPOSED REINFORCED MASONRY WALL W/ 1-16 VERT IN GROUT FILLED CELLS @ 4'-0" O/C @ MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH ON INTERVIEW ROOM SIDE + 2 COATS OF EPOXY PAINT FINISH ON EQ. STORAGE ROOM SIDE.
5	8" EXPOSED REINFORCED MASONRY WALL W/ 1-16 VERT IN GROUT FILLED CELLS @ 4'-0" O/C + 2 COATS OF EPOXY PAINT FINISH ON E.A SIDE OF WALL. FILL ALL CELLS W/ GROUT TO ELEVATION 40'-0" AFF. (PAINT WALLS UP TO ROOF SLAB ELEVATION)
6	8" REINFORCED MASONRY WALL W/ 1-16 VERT IN GROUT FILLED CELLS @ 4'-0" O/C W/ 2 COATS OF EPOXY PAINT FINISH ON ARMORY/ EQ. STORAGE SIDE + 5/8" DRYWALL OVER 3/4" FURRING CHANNELS ON COMMUNICATION, EVIDENCE + PROCESSING ROOM SIDE. (DRYWALL FINISH TO MATCH EXIST.)
7	8" REINFORCED MASONRY WALL W/ 1-16 VERT. IN GROUT FILLED CELLS @ 4'-0" O/C W/ MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH ON PROCESSING ROOM SIDE + 5/8" DRYWALL OVER 1" METAL FURRING CHANNELS @ 24" O/C W/ 2 COATS OF EPOXY FINISH ON LOCKER ROOM SIDE. / EQUIPMENT ROOM SIDE. FILL ALL CELLS W/ GROUT UP TO ELEVATION 32'-0" AFF.
8	3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W 5/8" DRYWALL FINISH ON E.A. SIDE / EXTEND WALL UP TO BOTTOM OF ROOF DECK. PROVIDE TWO COATS OF EPOXY PAINT FINISH ON LOCKER ROOM SIDE + TWO COATS OF INTERIOR LATEX PAINT ON HALLWAY / EVIDENCE ROOM SIDE. PROVIDE R-11 BATT INSULATION UP TO ELEVATION 42'-6" AFF.)
9	3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W 5/8" MOISTURE RESISTANT BOARD ON BOTH SIDES W/ 2 COATS OF EPOXY PAINT FINISH.
10	3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W DUROCK BOARD ON E.A. SIDE. (PROVIDE FULL CERAMIC TILE WAINSCOT ON E.A. SIDE OF THE WALL TO MATCH EXISTING.) EXTEND WALL TO BOTTOM OF EXISTING DRYWALL CEILING.
11	3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W 5/8" MOISTURE RESISTANT BOARD ON MOP SINK SIDE + 1/2" DRYWALL ON LOCKER ROOM SIDE. (PROVIDE 2 COATS OF EPOXY PAINT FINISH ON E.A. SIDE.)
12	PATCH + REPAIR EXISTING WALL ONCE EXISTING SHOWER WALL IS REMOVED + NEW WALL ERECTED. (PROVIDE FULL CERAMIC TILE WAINSCOT TO MATCH EXISTING).
13	REMOVE EXISTING STOREFRONT (BLOCK-UP OPENING TO MATCH EXISTING STRUCTURE) PROVIDE STUCCO FINISH ON EXTERIOR SIDE TO MATCH EXISTING + REMOVE EXISTING DRYWALL + FURRING STRIPS ON INTERIOR SIDE IN ORDER TO OBTAIN AN EXPOSED BLOCK SURFACE (BLOCK SURFACE SHALL BE PREPARED TO RECEIVE MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH (23 MILS THICKNESS)
14	REMOVE EXISTING STOREFRONT (BLOCK-UP OPENING TO MATCH EXISTING STRUCTURE) PROVIDE STUCCO FINISH ON EXTERIOR SIDE TO MATCH EXISTING + REMOVE EXISTING DRYWALL + FURRING STRIPS ON INTERIOR SIDE IN ORDER TO OBTAIN AN EXPOSED BLOCK SURFACE (BLOCK SURFACE SHALL BE PREPARED TO RECEIVE MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH (23 MILS THICKNESS)
15	EXISTING 2x4 WOOD STUDS @ 16" O/C W 5/8" DRYWALL FINISH. (WALL EXTEND UP TO 40'-0" AFF.) WALL TO BE LEGALIZED UNDER THIS PERMIT.
15A	EXISTING 3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W 5/8" DRYWALL FINISH. (WALLS + DOORS TO BE LEGALIZED UNDER THIS PERMIT.)
16	EXISTING WALL CONSIST OF 2x6 STUDS @ 16" O/C W 5/8" DRYWALL FINISH ON E.A. SIDE /EXTEND WALL UP TO BOTTOM OF NEW METAL DECK W 6" (20 GAUGE) METAL STUDS @ 16" W 5/8" DRYWALL FINISH ON E.A. SIDE (SEE SECTION "E" ON SHT. A-8
17	EXISTING CAT II SAFETY GLASS ON ALUMINUM FRAME STOREFRONT EXTEND UP TO 40'-0" AFF. ERECT NEW WALL ABOVE TOP OF STOREFRONT W 6" (20 GAUGE) METAL STUDS @ 16" O/C W 5/8" DRYWALL FINISH ON E.A. SIDE (SEE SECTION "D" ON SHT. A-7)
18	CAT II SAFETY GLASS ON ALUMINUM FRAME (STOREFRONT TO EXTEND UP TO 40'-0" AFF.)
19	EXISTING DRYWALL FINISH OVER METAL FURRING CHANNELS TO REMAIN (PATCH-UP WALLS AS REQUIRED UPON COMPLETION OF ERECTION OF NEW PARTITIONS) FINISH TO MATCH EXISTING.
20	3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W 5/8" DRYWALL FINISH ON E.A. SIDE / EXTEND WALL TO BOTTOM OF METAL DECK ABOVE/ SEE SECTION "H" FOR DETAILS.
21	3 5/8" (20 GAUGE) METAL STUDS @ 16" W 5/8" DRYWALL FINISH ON E.A. SIDE + R-11 BATT INSULATION. /EXTEND WALL TO BOTTOM OF EXISTING DRYWALL CEILING).
22	3 5/8" (20 GAUGE) METAL STUDS @ 16" W 5/8" DRYWALL FINISH ON E.A. SIDE /EXTEND WALL UP TO BOTTOM OF ROOF SLABS R-11 BATT INSULATION
23	6" (20 GAUGE) METAL STUDS @ 16" W 5/8" TYPE "X" DRYWALL ON E.A. SIDE /EXTEND WALL TO UNDERSIDE OF ROOF DECK @ +465
24	EXTEND EXISTING WALL UP TO BOTTOM OF ROOF SLABS W 6" (20 GAUGE) METAL STUDS @ 16" O/C + 5/8" DRYWALL ON E.A SIDE.
25	EXISTING 6" METAL STUD WALL W 5/8" DRYWALL FINISH TO + 10'-0" AFF. CONTRACTOR SHALL TEMPORARILY REMOVE CEILING ON EITHER SIDE OF WALL IN ORDER TO EXTEND EXISTING DRYWALL ON EACH SIDE OF WALL TO BOTTOM OF ROOF SLAB. (BLOCK-UP OPENING / FIELD VERIFY EXISTING CONDITIONS)

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1 4-30-14	

5-20-14

NOT VALID FOR CONSTRUCTION UNLESS ALL BLOCKS APPROVED BY BUILDING OFFICIAL AND SIGNED AND SEALED BY ARCHITECT OF RECORD AND ENGINEERS RECORDING HIS SEAL DATE.

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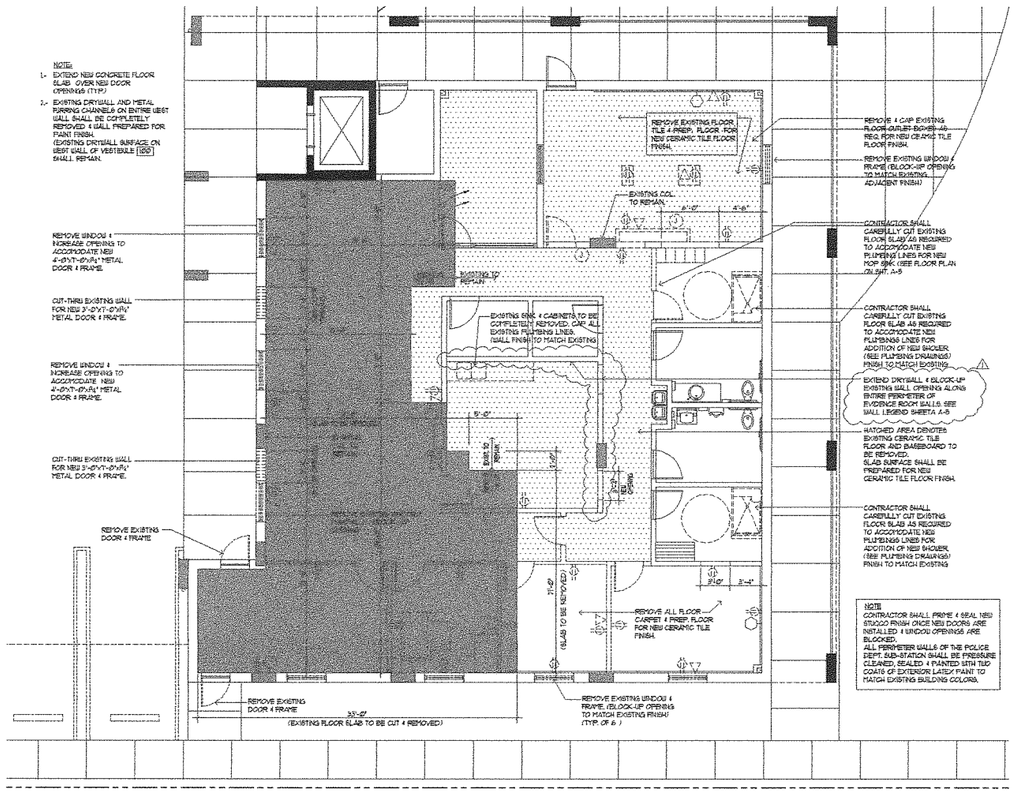
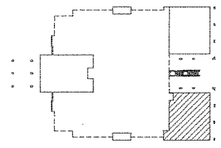
Scale	
Drawn	
Job	13-032
Sheet	A-3
Of	Sheets



Floor/ Wall Demolition Plan 3/16'

(Police Sub - Station) (Ground Floor)



Building Key Plan N.T.S.
Ground Floor

Floor / Wall Notes:

1.- SHADED AREA DENOTES AREAS OF EXISTING CERAMIC FLOOR TILE & FLOOR SLAB TO BE REMOVED. CONTRACTOR SHALL TAKE EXTREME CARE REMOVING SLAB SO AS TO NOT DAMAGE EXISTING WALLS THAT REMAIN.

1.- EXISTING DRYWALL FINISH ON INTERIOR WALLS TO REMAIN EXCEPT FOR PORTIONS OF WALLS WITHIN THE INTERVIEW ROOM & HOLDING CELLS WHICH ARE TO REMAIN EXPOSED BLOCK WITH MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM (3 MILS THICKNESS) (WALLS SHALL BE PREPARED AS REQUIRED BY MANUF. TO RECEIVE ARMOR-GLAZE FINISH)

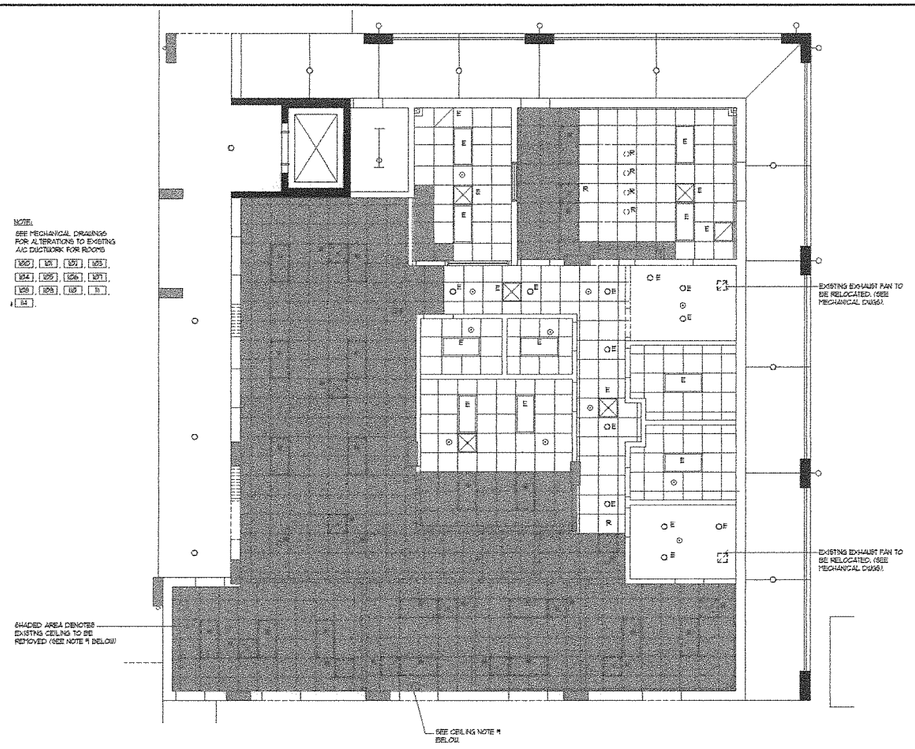
3.- NEW FLOOR SLAB SURFACE WITHIN INTERVIEW ROOM & HOLDING CELL AREA SHALL BE PREPARED AS REQUIRED BY PLANS PRIOR TO RECEIVING ARMOR GLAZE TWO COAT SEAMLESS EPOXY FLOOR COATING W/ INTEGRATED BASE.

4.- EXISTING ELECTRICAL OUTLETS & CONDUITS THAT OCCUR WITHIN THE NEW INTERVIEW ROOM & CELLS SHALL BE COMPLETELY REMOVED (SEE ELECTRICAL DWGS.)

5.- EXISTING ELECTRICAL OUTLETS, VOICE / DATA OUTLETS & J BOX THAT FALL OUTSIDE OF THE SECURITY AREAS SHALL BE EITHER REMOVED OR RELOCATED (SEE ELECTRICAL POWER PLAN)

WALL LEGEND

- EXISTING MASONRY WALL TO REMAIN SEE WALL FINISH LEGEND
- EXISTING DRYWALL PARTITION TO BE REMOVED.
- EXISTING DRYWALL PARTITION TO REMAIN (MATCH WALLS ADJACENT TO NEW CONSTRUCTION AS REQUIRED TO OBTAIN EXISTING FINISHES.
- EXISTING DOOR & FRAME TO BE REMOVED.
- EXISTING WINDOW & FRAMES TO BE REMOVED. BLOCK-UP OPENINGS TO MATCH EXISTING WALL SEE WALL FINISH LEGEND
- EXISTING ELECTRICAL OUTLETS TO BE REMOVED
- EXISTING VOICE DATA OUTLETS TO BE REMOVED
- EXISTING TV OUTLETS TO BE REMOVED
- EXISTING FLOOR OUTLETS TO BE CAPPED



Acoustical Ceiling Demolition Ceiling Plan 3/16'

(Police Sub - Station) (Ground Floor)

Building Key Plan N.T.S.
Ground Floor

Ceiling Notes:

1- SHADED AREA DENOTES AREA OF EXISTING ACOUSTICAL CEILING TO BE CAREFULLY REMOVED. REMOVE EXISTING CEILING GRID, CEILING TILES, AC DIFFUSERS & LIGHT FIXTURES. SEE SHT A-3 FOR NEW REFLECTED CEILING PLAN LAYOUT. CONTRACTOR SHALL FIELD VERIFY LOCATION.

2.- REFER TO FIRE SPRINKLER DRAWINGS PREPARED BY LEXITON FIRE FOR ALL ALTERATIONS / ADDITIONS TO EXISTING FIRE SPRINKLER SYSTEM. (SUBMIT SHOP DWGS FOR REVIEW).

3.- NEW CEILING TILES AND CEILING GRID SHALL MATCH EXISTING

Demolition Notes:

1. THIS PLAN IS INTENDED TO SHOW THE OVERALL SCOPE OF DEMOLITION WORK TO BE DONE. IT DOES NOT SHOW ALL OF THE SPECIFIC MINOR ITEMS EXISTING IN THE SPACE THAT WILL BE REQUIRED TO BE REMOVED TO COMPLETE THE WORK.
2. THE CONTRACTOR SHALL VISIT THE JOB SITE AND PERFORM A WALKTHRU WITH THE OWNER TO IDENTIFY THE SPECIFIC ITEMS NOT SHOWN ON THIS PLAN THAT WILL BE REMOVED AND COORDINATE WHICH ITEMS WILL BE DISPOSED OF AND WHICH WILL BE GIVEN TO THE OWNER FOR HIS STORAGE.
3. THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK, TRASH REMOVAL, STORAGE, ETC. WITH THE OWNER.
4. THE OWNER SHALL SUPPLY THE CONTRACTOR WITH AN ASBESTOS SURVEY IDENTIFYING ANY ITEMS THAT MAY HAVE ASBESTOS. THE CONTRACTOR SHALL FOLLOW THE SURVEY AND ANY ITEMS HAVING ASBESTOS SHALL BE REMOVED OR CONTAINED AS REQUIRED BY A CERTIFIED ASBESTOS ABATEMENT CONTRACTOR.
5. ALL WORK SHALL BE CUT, PATCHED OR MODIFIED AS REQUIRED AND REFINISHED AS WELL AS REFINISHING EXISTING ITEMS REMAINING TO ACHIEVE A CONSISTENT FINISH AND A SATISFACTORY COMPLETED CONDITION.
6. THE CONTRACTOR SHALL PROVIDE SAFETY FEATURES OR METHODS DURING DEMOLITION AS REQUIRED BY APPLICABLE CODES, OSHA, OR SPECIFICATIONS.
7. CONTRACTOR SHALL VERIFY ALL PLUMBING, MECHANICAL AND ELECTRICAL ITEMS TO BE REMOVED OR RELOCATED PRIOR TO PERFORMING THE WORK.
8. ALL SURFACES DAMAGED BY DEMOLITION SHALL BE REPAIRED AND REFINISHED TO MATCH ADJACENT SURFACES AND AS PER FINISH SCHEDULE.
9. REMOVE ALL EXISTING CABINETS, FURNITURE AND FIXTURES DEPICTED ON THE DRAWINGS. COORDINATE WITH THE OWNER, THE DISPOSAL OR STORAGE OF THESE ITEMS.
10. REMOVE ALL EXISTING FLOOR CARPET, TILE, ETC. AND PREPARE SURFACE TO RECEIVE NEW FINISHES PER FINISH SPECIFICATIONS. OBSERVE ANY ITEMS ADDRESSED BY THE ASBESTOS SURVEY AS NOTED ABOVE.
11. CONTRACTOR IS TO VERIFY WITH THE OWNER AND IDENTIFY ALL EXISTING PIPES, CONDUITS, ETC. PRIOR TO DEMOLITION. CONTRACTOR SHALL IDENTIFY & PAINT ALL PIPES, CONDUITS, ETC. THAT ARE NOT GOING TO BE DEMOLISHED OR REMOVED.
12. SLAB AND WALL SURFACES WITHIN THE DETENTION / PROCESSING AREA OF THE BUILDING SHALL BE PREPARED AS TO MANUFACTURER'S DIRECTIONS / INSTRUCTIONS PRIOR TO RECEIVING FINISH SPECIFIED.
13. ALL CEILING TILES & LIGHT FIXTURES TO BE REMOVED, SHALL BE CAREFULLY REMOVED & STORED SO THAT THEY CAN BE RE-USED BY OWNER FOR OTHER AREAS OF THE BUILDING NOT ARE NOT PART OF THE RENOVATED AREAS ON THESE DRAWINGS.

LEGEND

R REMOVE	K	EXISTING 2'x2' ACOUSTICAL CEILING TILE & GRID TO BE COMPLETELY REMOVED. CAREFULLY REMOVE 4 STORE CEILING TILES. (NEW CEILING TILES & CEILING GRID TO MATCH EXISTING)
R REMOVE		EXISTING 2'x4' FLUORESCENT LIGHT FIXTURES TO BE REMOVED & RE-USED ONCE NEW WALLS ARE ERECTED (SEE CEILING PLAN & ELECTRICAL DWGS)
E (EXISTING)		EXISTING 2' X 2' ACOUSTICAL CEILING TO REMAIN. TEMPORARILY SUPPORT EDGE OF CEILING THAT ASSOCIATE TILES TO BE REMOVED.
E (EXISTING)		EXISTING 2' X 4' FLUORESCENT LIGHT FIXTURES TO REMAIN
E (EXISTING)		EXISTING 2' X 4' FLUORESCENT LIGHT FIXTURES TO REMAIN
E (EXISTING)		EXISTING RECESSED ACCENT LIGHTING TO REMAIN
R REMOVED		EXISTING RECESSED LIGHTS TO BE REMOVED.
R		EXISTING A/C DIFFUSSER TO BE RELOCATED (SEE MECHANICAL DWGS)
R		EXISTING A/C RETURN DIFFUSSER TO BE RELOCATED (SEE MECHANICAL DWGS)
E		EXISTING A/C DIFFUSSERS TO REMAIN
E		EXISTING RETURN AIR DIFFUSSER TO REMAIN
		EXISTING FIRE SPRINKLER HEADS

Architecture
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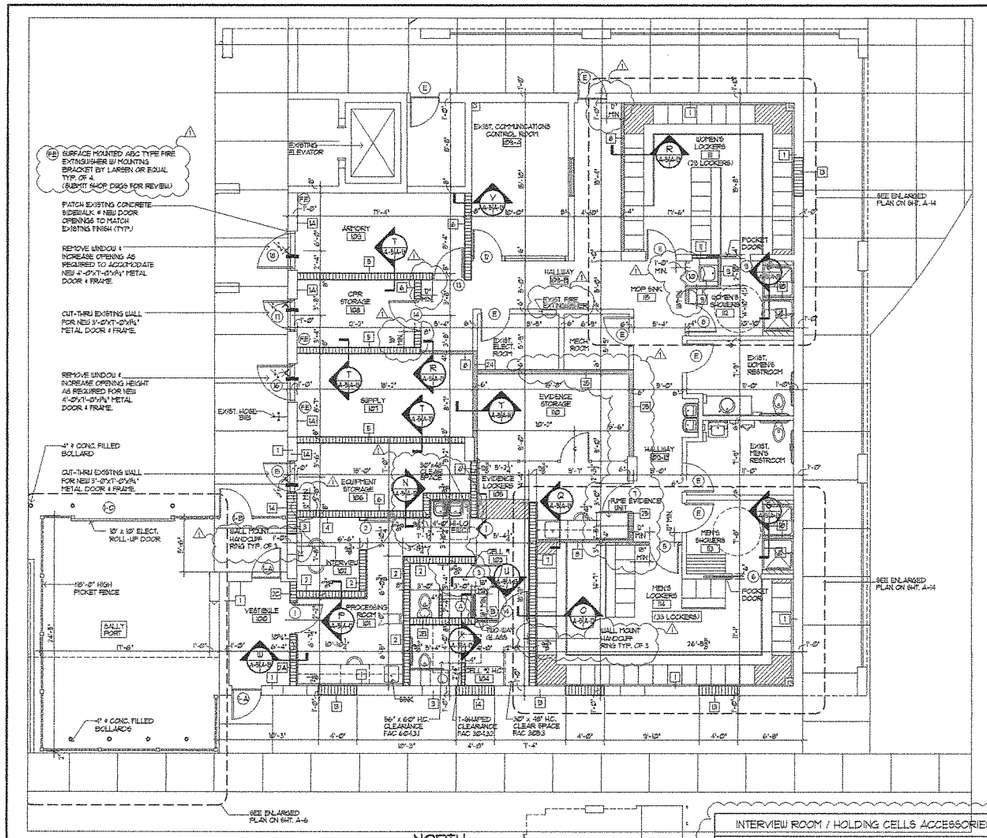
INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley FL. 33166 Phone: (305) 887-8541

REVISIONS	BY
1 4-30-14	

5-20-14

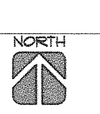
PERMIT VALID FOR CONSTRUCTION ONLY WHEN SIGNED AND SEALED BY THE BUILDING OFFICIAL OR DESIGNEE AND CONTAINS INCORPORATED NOTATIONS DATE.

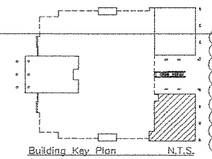
Date	3-27-14
Scale	
Drawn	
Job	13-032
Sheet	A-4
Of	Sheets



Enlarged Ground Level Plan 3/16"

(POLICE / HOLDING CELLS)
Dimensions and Room Names





Building Key Plan N.T.S.
Ground Floor

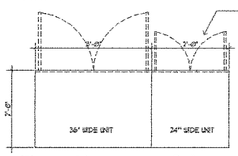
INTERVIEW ROOM / HOLDING CELLS ACCESSORIES:

CONTRACTOR SHALL PROVIDE & INSTALL THE FOLLOWING:

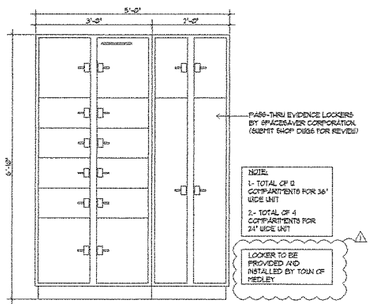
1.- WALL MOUNT HANDCUFF BY KRYPTONAK MODEL # GAT - SP1 - HCB - 1200 TYPE 316 L S/S TAMPER RESISTANT HARDWARE. (1 INSIDE EACH HOLDING CELL & INTERVIEW ROOM)

2.- FLOOR MOUNTED STAINLESS STEEL DESK BY KRYPTONAK, MODEL # GAT - FCD - 1200 (TYPE 304 STAINLESS STEEL) W/ TAMPER RESISTANT HARDWARE.

3.- STAINLESS STEEL INTERVIEW ROOM CHAIR BY KRYPTONAK; MODEL # GAT - IC - 1200 ANCHORED TO FLOOR W/ TAMPER RESISTANT HARDWARE (TOTAL OF 2 CHAIRS)

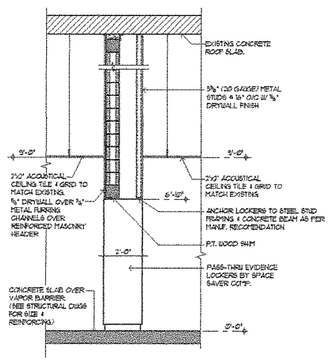


Floor Plan 3/4"



Evidence Lockers 3/4"

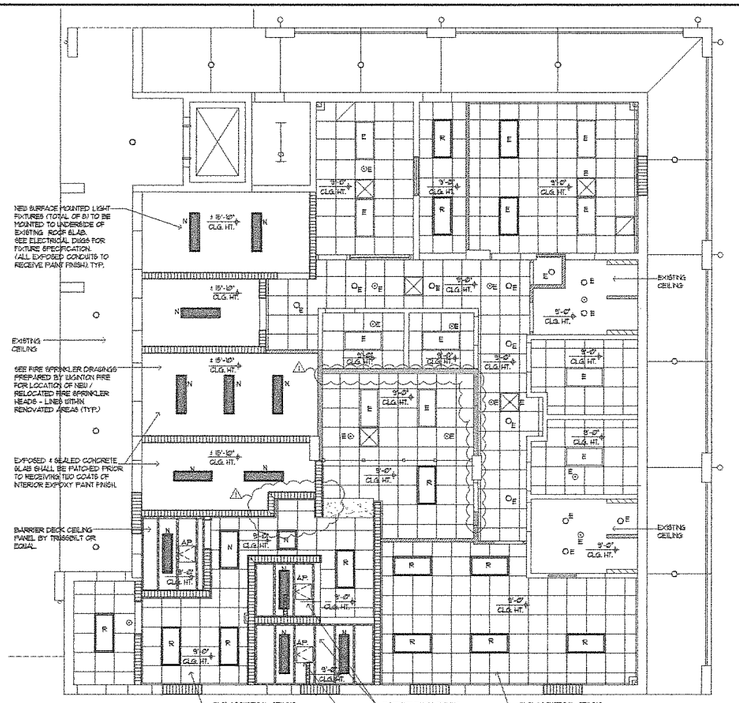
Front Elevation



Section

3/8"

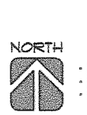
A-5.1-B

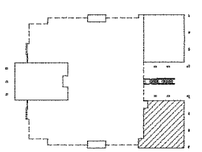


NOTE:
FIRE SPRINKLER CONTRACTOR SHALL SUBMIT SHOP DWGS DEPICTING ALTERATIONS SHOWN ON FIRE SPRINKLER DRAWINGS PREPARED BY IGNITION FIRE PROTECTION.

Reflected Ceiling Plan 3/16"

(POLICE / HOLDING CELLS)





Building Key Plan N.T.S.
Ground Floor

- Ø — DOOR NUMBER
- Ⓦ — WINDOW TYPE
- WALL TYPE [E]

WALL TYPE DESIGNATION

SECTION NAME — SECTION TAKEN FROM SHEET # — SECTION APPEARS ON SHEET #

SECTION DESIGNATION

LEGEND

E (EXISTING)		EXISTING 2' X 4' FLUORESCENT LIGHT FIXTURES TO REMAIN
E (EXISTING)		EXISTING 2' X 4' FLUORESCENT LIGHT FIXTURES TO REMAIN
E (EXISTING)		EXISTING RECESSED ACCENT LIGHTING TO REMAIN
R (RELOCATED)		EXISTING 2' X 4' FLUORESCENT LIGHT FIXTURE TO BE RELOCATED TO NEW LOCATION SHOWN.
N		NEW 2x4 SURFACE MOUNTED FLUORESCENT TYPE FIXTURE. (SEE ELECTRICAL DWGS FOR FIXTURE SPECIFICATION.)
E		EXISTING FIRE SPRINKLER HEADS THAT ARE WITHIN ROOMS THAT ARE NOT ALTERED TO REMAIN / ALL OTHER FIRE SPRINKLER HEADS SHALL BE RELOCATED AS REQUIRED TO ACCOMODATE NEW ROOM / SPACE LAYOUT/ SUBMIT COMPLETE FIRE SPRINKLER SHOP DWGS.

CEILING NOTES:

1- MOUNTING HEIGHTS OF ALL CEILING SYSTEMS SHALL BE IN ACCORDANCE WITH REFLECTED CEILING PLANS AND THE ROOM FINISH SCHEDULE.

2.- FOR LAYOUT OF CEILING MOUNTED A/C DIFFUSERS, SEE HVAC DRAWINGS

3.- ACOUSTICAL CEILING TILE SHALL BE 2' X 2' X 5/8" TO MATCH EXISTING CEILING TILE & CEILING GRID.

4.- BARRIER DECK CEILING PANEL BY TRUSSBILT OR EQUAL

WALL LEGEND

TYPE	DESCRIPTION
1	EXISTING DRYWALL SURFACE SHALL BE PATCHED TO MATCH EXISTING ADJACENT WALL FINISH ONCE NEW WALLS ARE ERECTED.
1A	EXISTING DRYWALL FINISH, INSULATION & FURRING CHANNELS SHALL BE COMPLETELY REMOVED. (EXISTING MASONRY SHALL BE VERIFY PATCHED ONCE NEW WALLS ARE ERECTED) ALL EXPOSED MASONRY WALLS SHALL BE PATCHED, PREPED & SEALED PRIOR TO RECEIVING TWO COATS OF EPOXY PAINT FINISH (COLOR AS SELECTED BY TOM.)
2	8" REINFORCED MASONRY WALL @ 1-#9 VERT IN GROUT FILLED CELLS @ 4'-0" O/C W/ MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH (12 MILS THICKNESS) FILL ALL CELLS WITH GROUT UP TO ELEVATION 48'-0" AFF. PROVIDE 5/8" DRYWALL FINISH OVER 3/4" METAL FURRING CHANNELS @ 24" O/C ON PROCESSING ROOM / HALLWAY SIDE.
2A	8" REINFORCED MASONRY WALL W/ 5/8" DRYWALL FINISH ON 3/4" METAL FURRING CHANNELS @ 24" O/C ON E.A. SIDE.
2B	8" REINFORCED MASONRY WALL W/ ARMOR-GLAZE WALL SYSTEM FINISH (12 MILS THICKNESS) ON BOTH SIDES OF WALL.
2C	8" REINFORCED MASONRY WALL W/ ARMOR-GLAZE WALL SYSTEMS FINISH (12 MILS THICKNESS) ON INTERVIEW ROOM SIDE (2B) & 5/8" DRYWALL OVER 3/4" METAL FURRING CHANNELS @ 24 O/C ON VESTIBULE SIDE.
3	REMOVE EXISTING DRYWALL, INSULATION & FURRING CHANNELS PATCH UP EXISTING BLOCK SURFACE PRIOR TO APPLYING MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH.
4	8" EXPOSED REINFORCED MASONRY WALL W/ 1-#5 VERT IN GROUT FILLED CELLS @ 4'-0" O/C W/ MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH ON INTERVIEW ROOM SIDE & 2 COATS OF EPOXY PAINT FINISH ON EQ. STORAGE ROOM SIDE.
5	8" EXPOSED REINFORCED MASONRY WALL W/ 1-#5 VERT IN GROUT FILLED CELLS @ 4'-0" O/C W/ 2 COATS OF EPOXY PAINT FINISH ON E.A. SIDE OF WALL. FILL ALL CELLS W/ GROUT TO ELEVATION 48'-0" AFF. (PAINT WALLS UP TO ROOF SLAB ELEVATION)
6	8" REINFORCED MASONRY WALL W/ 1-#5 VERT IN GROUT FILLED CELLS @ 4'-0" O/C W/ 2 COATS OF EPOXY PAINT FINISH ON ARMORY/ EQ. STORAGE SIDE & 5/8" DRYWALL OVER 3/4" FURRING CHANNELS ON COMMUNICATION, EVIDENCE & PROCESSING ROOM SIDE. (DRYWALL FINISH TO MATCH EXIST.)
7	8" REINFORCED MASONRY WALL W/ 1-#5 VERT. IN GROUT FILLED CELLS @ 4'-0" O/C W/ MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH ON PROCESSING ROOM SIDE & 5/8" DRYWALL OVER 3/4" METAL FURRING CHANNELS @ 24" O/C W/ 2 COATS OF EPOXY FINISH ON LOCKER ROOM SIDE, / EQUIPMENT ROOM SIDE. FILL ALL CELLS W/ GROUT UP TO ELEVATION 48'-0" AFF.
8	3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W/ 5/8" DRYWALL FINISH ON E.A. SIDE (EXTEND WALL UP TO BOTTOM OF ROOF DECK) . PROVIDE TWO COATS OF EPOXY PAINT FINISH ON LOCKER ROOM SIDE & TWO COATS OF INTERIOR LATEX PAINT ON HALLWAY / EVIDENCE ROOM SIDE. (PROVIDE R-11 BATT INSULATION UP TO ELEVATION 48'-0" AFF.)
9	3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W/ 5/8" MOISTURE RESISTANT BOARD ON BOTH SIDES W/ 2 COATS OF EPOXY PAINT FINISH.
10	3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W/ DUROCK BOARD ON E.A. SIDE OF THE WALL TO MATCH EXISTING) EXTEND WALL TO BOTTOM OF EXISTING DRYWALL CEILING.
11	3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W/ 5/8" MOISTURE RESISTANT BOARD ON MOP SINK SIDE & 5/8" DRYWALL ON LOCKER ROOM SIDE. (PROVIDE 2 COATS OF EPOXY PAINT FINISH ON E.A. SIDE.)
12	PATCH & REPAIR EXISTING WALL ONCE EXISTING SHOWER WALL IS REMOVED & NEW WALL ERECTED. (PROVIDE FULL CERAMIC TILE WAINSCOT TO MATCH EXISTING)
13	REMOVE EXISTING STOREFRONT (BLOCK-UP OPENING TO MATCH EXISTING STRUCTURE) PROVIDE STUCCO FINISH ON EXTERIOR SIDE TO MATCH EXISTING & REMOVE EXISTING DRYWALL & FURRING STRIPS ON INTERIOR SIDE IN ORDER TO OBTAIN AN EXPOSED BLOCK SURFACE (BLOCK SURFACE SHALL BE PREPARED TO RECEIVE MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH (12 MILS THICKNESS)
14	REMOVE EXISTING STOREFRONT (BLOCK-UP OPENING TO MATCH EXISTING STRUCTURE) PROVIDE STUCCO FINISH ON EXTERIOR SIDE TO MATCH EXISTING & REMOVE EXISTING DRYWALL & FURRING STRIPS ON INTERIOR SIDE IN ORDER TO OBTAIN AN EXPOSED BLOCK SURFACE (BLOCK SURFACE SHALL BE PREPARED TO RECEIVE MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH (12 MILS THICKNESS)
15	EXISTING 2x4 WOOD STUDS @ 16" O/C W/ 5/8" DRYWALL FINISH. (WALL EXTEND UP TO 48'-0" AFF) WALL TO BE LEGALIZED UNDER THIS PERMIT.
2x4	EXISTING 3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W/ 5/8" DRYWALL FINISH. (WALLS & DOORS TO BE LEGALIZED UNDER THIS PERMIT)
16	EXISTING WALL CONSIST OF 2x6 STUDS @ 16" O/C W/ 5/8" DRYWALL FINISH ON E.A. SIDE. (EXTEND WALL UP TO BOTTOM OF NEW METAL DECK W/ 6" (20 GAUGE) METAL STUDS @ 16" O/C W/ 5/8" DRYWALL FINISH ON E.A. SIDE (SEE SECTION "E" ON SHT. A-4.
17	EXISTING CAT II SAFETY GLASS ON ALUMINUM FRAME STOREFRONT, EXTEND UP TO 48'-0" AFF. ERECT NEW WALL ABOVE TOP OF STOREFRONT W/ 6" (20 GAUGE) METAL STUDS @ 16" O/C W/ 5/8" DRYWALL FINISH ON E.A. SIDE (SEE SECTION "D" ON SHT. A-3.
18	CAT II SAFETY GLASS ON ALUMINUM FRAME. (STOREFRONT TO EXTEND UP TO 48'-0" AFF.)
19	EXISTING DRYWALL FINISH OVER METAL FURRING CHANNELS TO REMAIN (PATCH-UP WALLS AS REQUIRED UPON COMPLETION OF ERECTION OF NEW PARTITIONS) FINISH TO MATCH EXISTING.
20	3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W/ 5/8" DRYWALL FINISH ON E.A. SIDE. (EXTEND WALL TO BOTTOM OF METAL DECK ABOVE) SEE SECTION "H" FOR DETAILS.
21	3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W/ 5/8" DRYWALL FINISH ON E.A. SIDE & R-11 BATT INSULATION. (EXTEND WALL TO BOTTOM OF EXISTING DRYWALL CEILING) .
22	3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C W/ 5/8" DRYWALL FINISH ON E.A. SIDE (EXTEND WALL UP TO BOTTOM OF ROOF SLAB) R-11 BATT INSULATION
23	6" (20 GAUGE) METAL STUDS @ 16" O/C W/ TYPE "X" DRYWALL ON E.A. SIDE (EXTEND WALL TO UNDERSIDE OF ROOF METAL DECK @ 48'-0" AFF.
24	EXTEND EXISTING WALL UP TO BOTTOM OF ROOF SLAB W/ 6" (20 GAUGE) METAL STUDS @ 16" O/C & 5/8" DRYWALL ON E.A. SIDE.
25	EXISTING 6" METAL STUD WALL W/ 1/2" DRYWALL FINISH TO 9'-0" AFF. CONTRACTOR SHALL TEMPORARILY REMOVE CEILING ON EITHER SIDE OF WALL IN ORDER TO EXTEND EXISTING DRYWALL ON EACH SIDE OF WALL TO BOTTOM OF ROOF SLAB. (BLOCK-UP OPENING) (FIELD VERIFY EXISTING CONDITIONS)

Architecture
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Space Planning
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INTERIOR ALTERATIONS FOR:

The Town of Medley - Florida

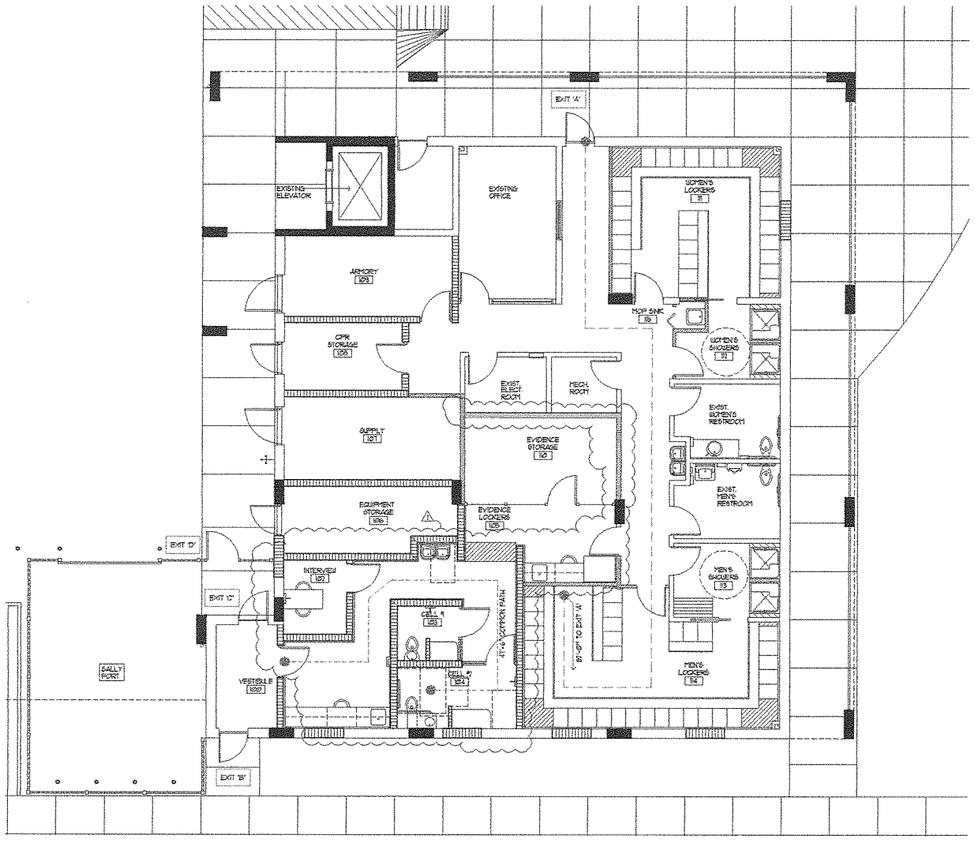
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-8641

REVISIONS	BY
1 4-30-14	

5-20-14

HOT MAIL FOR CONSTRUCTION. PERMIT PACKET. IS TRUE IN THAT SET IS COMPLETE WITH ALL CHANGES AS ARE REQUIRED AND COMMENTS INCORPORATED INTO THESE DWGS.

Date	3-27-14
Scale	
Drawn	
Job	13-032
Sheet	A-5
Of	Sheets



Enlarged Ground Floor Life Safety Plan 3/16"
(POLICE / HOLDING CELLS)

NORTH

LEGEND
- - - - - - COMMON PATH
- - - - - - TRAVEL DISTANCE LAYOUT

BUILDING LIFE SAFETY DATA

OCCUPANCIES — B (BUSINESS)
I (INSTITUTIONAL)

EXISTING BUILDING IS PROTECTED BY AN APPROVED FIRE SPRINKLER SYSTEM.

EGRESS CAPACITY REQUIREMENTS
AS PER: NFPA TABLE 7.3.3.2 - 2012 EDITION (CAPACITY FACTORS)
F.B.C. 2012 EDITION - EGRESS WIDTH

OCCUPANT LOAD:
EXISTING OFFICE AREA — 1,661 ft² ÷ 100 ÷ — 17 PERSONS
STORAGE / SUPPLY: — 730ft² ÷ 1,000 ÷ — 3 PERSONS
HOLDING CELLS / PROCESSING: — 432ft² ÷ 100 ÷ — 4 PERSONS
TOTAL AREA ÷ — 3,693 SQ. FT.
TOTAL OCCUPANT LOAD — 24 PERSONS

	STAIRWAYS (width per person)	LEVEL COMPONENTS AND RAMPS (width per person)
AREAS	INCHES	INCHES
ALL OTHERS	0.3	0.2

OCCUPANCY LOAD — 24 PERSONS
CAPACITY FACTOR REQUIRED (stairway width) — (24) (0.3) = 7.2" OF STAIRWAY'S WIDTH
CAPACITY FACTOR REQUIRED (exit width) — (24) (0.2) = 5.2" OF EXIT WIDTH
CAPACITY PROVIDED (stairway width) — N/A
CAPACITY PROVIDED (exit width) — 108"

MINIMUM INTERIOR FINISH CLASSIFICATION

OCCUPANCY	SPRINKLERED			UNSPRINKLERED		
	EXITS	CORRIDORS	OTHER SPACES	EXITS	CORRIDORS	OTHER SPACES
I-3	A	A[1]	C	A	A	B
B	B	C	C	A	B	C

d - LOBBY AREAS IN GROUP A-1, A-2 AND A-3 OCCUPANCIES SHALL NOT BE LESS THAN CLASS "B" MATERIALS.

LIFE SAFETY REQUIREMENTS

N.F.P.A. 101, 2012 EDITION
TABLE A7.6 COMMON PATH, DEAD-END, AND TRAVEL DISTANCE LIMITS

TYPE OF OCCUPANCY	COMMON PATH LIMIT		DEAD-END LIMIT		TRAVEL DISTANCE LIMIT	
	UNSPRINKLERED n (ft.)	SPRINKLERED n (ft.)	UNSPRINKLERED n (ft.)	SPRINKLERED n (ft.)	UNSPRINKLERED n (ft.)	SPRINKLERED n (ft.)
INSTITUTIONAL CONDITIONAL OF USE	15 50	30 100	61 (20)	61 (20)	45 150	61 200
BUSINESS NEW	75ft. (75)	30ft. (100)	61 (20)	15 (50)	61 (200)	91 (300)

FLORIDA BUILDING CODE - 2012 EDITION
TABLE 1016.1 - EXIT ACCESS TRAVEL DISTANCE

OCCUPANCY	WITHOUT SPRINKLER SYSTEM (feet)	WITH SPRINKLER SYSTEM (feet)
I-3	NOT PERMITTED	250
B	200	300

NOTE:
FOR TRAVEL DISTANCES PROVIDED, SEE FLOOR PLANS

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INTERIOR ALTERATIONS FOR:
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Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-9541

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5-20-14

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PRELIMINARY DRAWINGS
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Date	3-27-14
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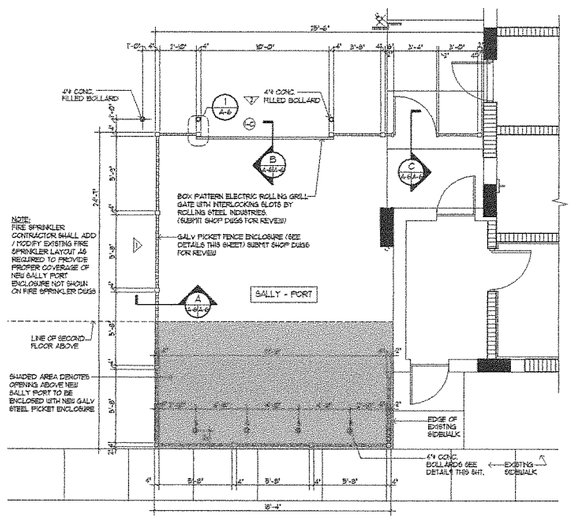
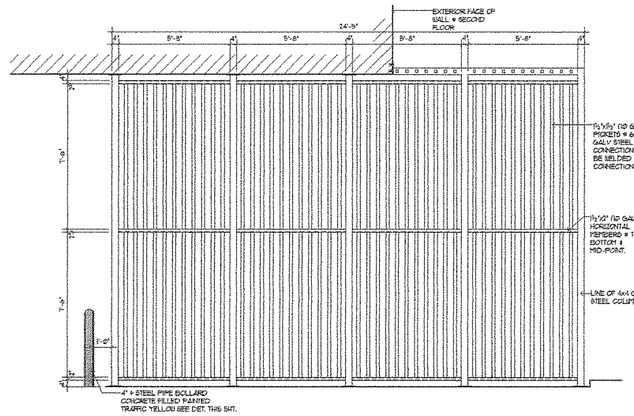
Job	13-032
Sheet	A-5LS
Of	Sheets

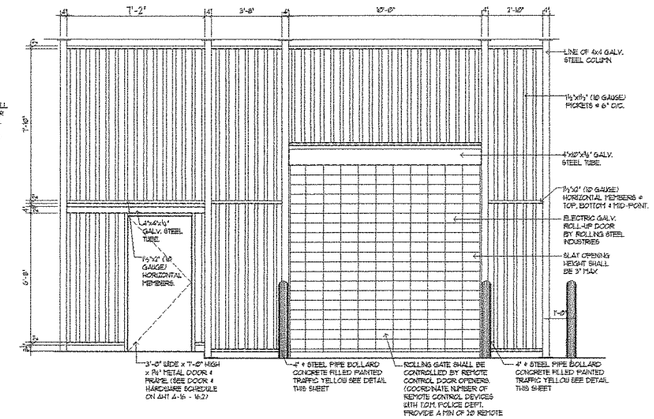


Sally-Port Ground Floor Plan 1/4"

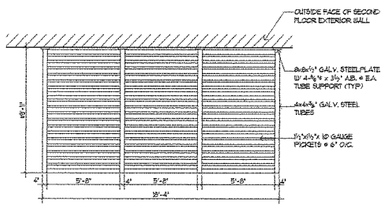
NORTH



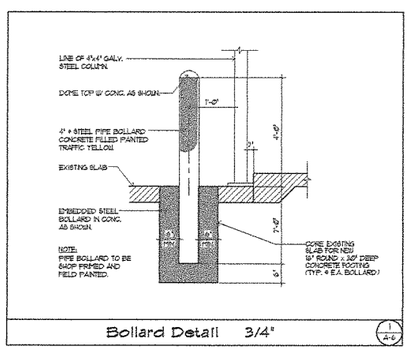
1 Elevation 3/8"
SALLY-PORT ELEVATION



2 Elevation 3/8"
SALLY-PORT ELEVATION

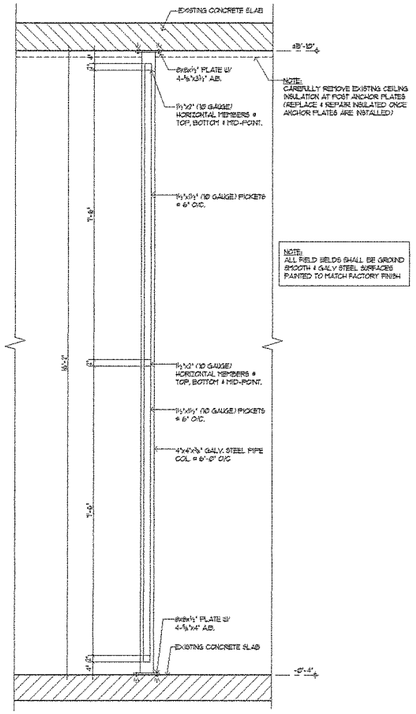


Sally-Port Partial Roof Enclosure Plan 1/4"

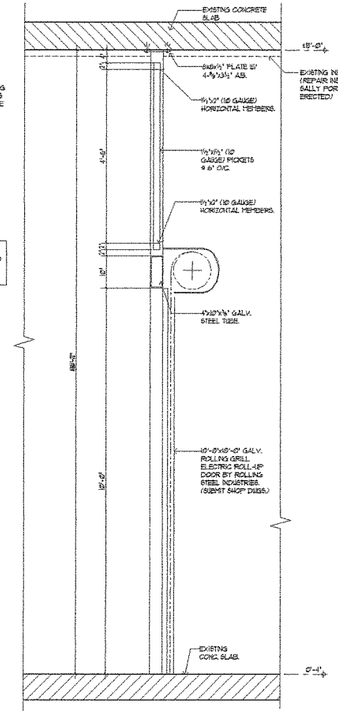


Bollard Detail 3/4"

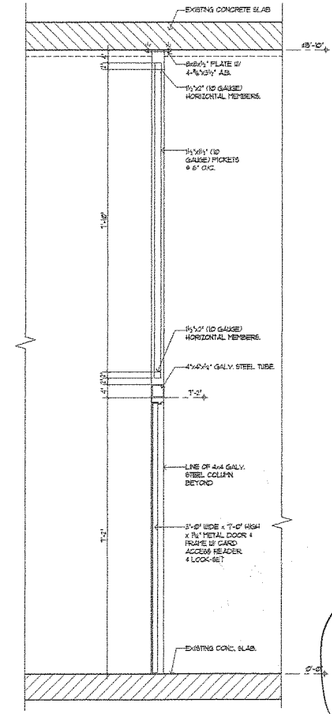
NOTE:
1.- CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF POST-TENSION CABLES ON EXISTING ROOF SLAB PRIOR TO DRILLING FOR NEW A.B. FASTENERS.
2.- CONTRACTOR SHALL SUBMIT SHOP DWGS FOR REVIEW INCLUSIVE OF FASTENERS, WELDING PATTERN & PANEL FABRICATION ASSEMBLY & ERECTION PROCEDURE FOR SALLY PORT ENCLOSURE.



Section
3/4"
A
A-6/A-6



Section
3/4"
B
A-6/A-6



Section
3/4"
C
A-6/A-6

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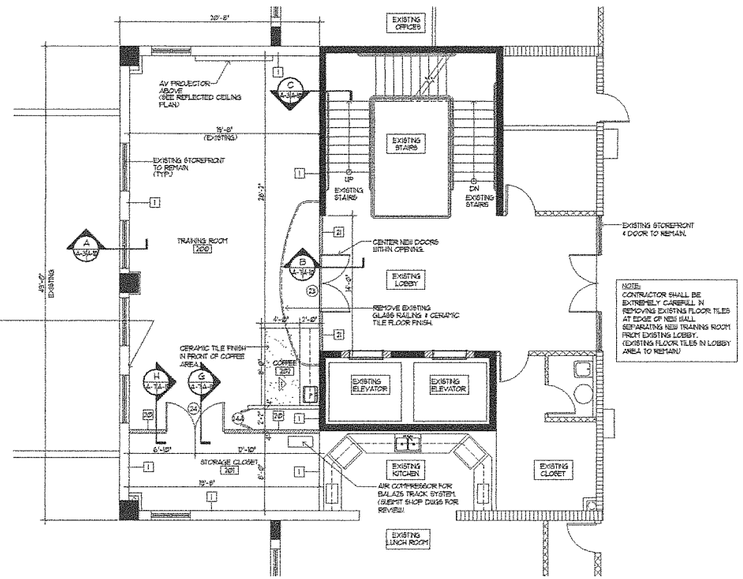
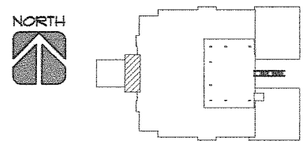
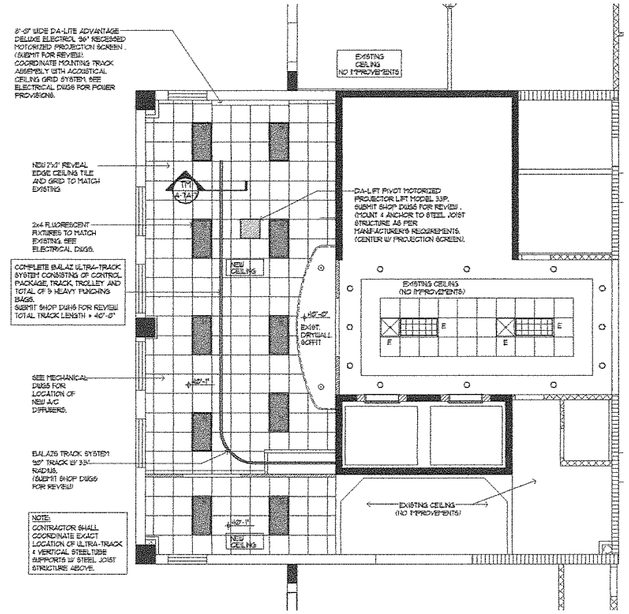
Of	Sheets



Enlarged Training Room Plan 3/16'
(Second Floor)



Building Key Plan N.T.S.
Second Floor



Training Room Reflected Ceiling Plan 3/16'
(Second Floor)

CEILING NOTES:

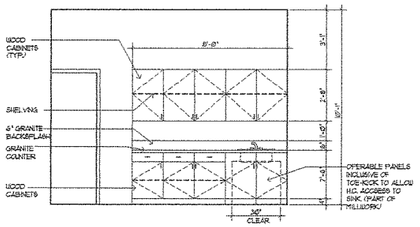
1. MOUNTING HEIGHTS OF ALL CEILING SYSTEMS SHALL BE IN ACCORDANCE WITH REFLECTED CEILING PLANS AND THE ROOM FINISH SCHEDULE.
2. FOR LAYOUT OF CEILING MOUNTED A/C DIFFUSERS, SEE HVAC DRAWINGS.
3. ACOUSTICAL CEILING TILE SHALL BE 2' X 2' X 5/8" REVEAL EDGE TO MATCH EXISTING CEILING TILE & CEILING GRID.

LEGEND

E (EXISTING)	EXISTING 2' X 4' FLUORESCENT LIGHT FIXTURES TO REMAIN
E (EXISTING)	EXISTING 2'x4' PARABOLIC FLUORESCENT LIGHT FIXTURES TO REMAIN
E (EXISTING)	EXISTING RECESSED ACCENT LIGHTING TO REMAIN
N (NEW)	NEW 2' X 4' FLUORESCENT LIGHT FIXTURE TO MATCH EXISTING SEE ELECTRICAL DWGS.
	EXISTING FIRE SPRINKLER HEAD.

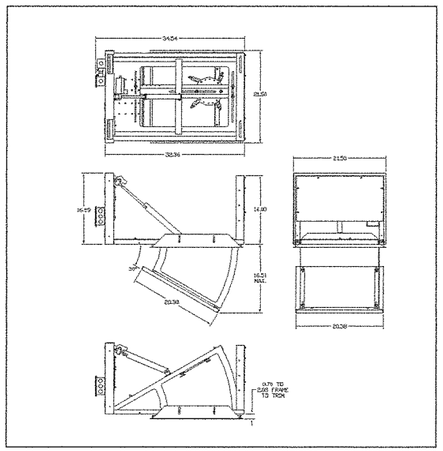
WALL LEGEND

TYPE	DESCRIPTION
1	EXISTING DRYWALL SURFACE SHALL BE PATCHED TO MATCH EXISTING ADJACENT WALL FINISH ONCE NEW WALLS ARE ERECTED.
1A	EXISTING DRYWALL FINISH, INSULATION & FURRING CHANNELS SHALL BE COMPLETELY REMOVED. (EXISTING MASONRY SHALL BE NEATLY PATCHED ONCE NEW WALLS ARE ERECTED.) ALL EXPOSED MASONRY WALLS SHALL BE PATCHED, PRIMED & SEALED PRIOR TO RECEIVING TWO COATS OF EPOXY PAINT FINISH (COLOR AS SELECTED BY TOM.)
1J	8" REINFORCED MASONRY WALL @ 1'-8" VERT IN GROUT FILLED CELLS @ 4'-0" O/C @ MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH (23 MILS THICKNESS) FILL ALL CELLS WITH GROUT UP TO ELEVATION 40'-0" AFF. PROVIDE 5/8" DRYWALL FINISH OVER 1" METAL FURRING CHANNELS @ 24" O/C ON PROCESSING ROOM / HALLWAY SIDE.
1M	8" REINFORCED MASONRY WALL @ 5/8" DRYWALL FINISH ON 1" METAL FURRING CHANNELS @ 24" O/C ON E.A. SIDE.
2B	8" REINFORCED MASONRY WALL @ ARMOR-GLAZE WALL SYSTEM FINISH (23 MILS THICKNESS) ON BOTH SIDES OF WALL.
2C	8" REINFORCED MASONRY WALL @ ARMOR-GLAZE WALL SYSTEM FINISH (23 MILS THICKNESS) ON INTERVIEW ROOM SIDE (2C) & 5/8" DRYWALL OVER 1" METAL FURRING CHANNELS @ 24 O/C ON VESTIBULE SIDE.
3	REMOVE EXISTING DRYWALL, INSULATION & FURRING CHANNELS FROM EXISTING BLOCK SURFACE PRIOR TO APPLYING MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH.
4	8" EXPOSED REINFORCED MASONRY WALL @ 1'-8" VERT IN GROUT FILLED CELLS @ 4'-0" O/C @ MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH ON INTERVIEW ROOM SIDE & 2 COATS OF EPOXY PAINT FINISH ON EQ. STORAGE ROOM SIDE.
5	8" EXPOSED REINFORCED MASONRY WALL @ 1'-8" VERT IN GROUT FILLED CELLS @ 4'-0" @ 2 COATS OF EPOXY PAINT FINISH ON E.A. SIDE OF WALL. FILL ALL CELLS W/ GROUT TO ELEVATION 40'-0" AFF. (PAINT WALLS UP TO ROOF SLAB ELEVATION)
6	8" REINFORCED MASONRY WALL @ 1'-8" VERT IN GROUT FILLED CELLS @ 4'-0" O/C @ 2 COATS OF EPOXY PAINT FINISH ON ARMORY EQ. STORAGE SIDE & 5/8" DRYWALL OVER 3/4" FURRING CHANNELS ON COMMUNICATION, EVIDENCE & PROCESSING ROOM SIDE. (DRYWALL FINISH TO MATCH EXIST.)
7	8" REINFORCED MASONRY WALL @ 1'-8" VERT IN GROUT FILLED CELLS @ 4'-0" O/C @ MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH ON PROCESSING ROOM SIDE & 5/8" DRYWALL OVER 1" METAL FURRING CHANNELS @ 24" O/C @ 2 COATS OF EPOXY FINISH ON LOCKER ROOM SIDE. / EQUIPMENT ROOM SIDE. FILL ALL CELLS W/ GROUT UP TO ELEVATION 40'-0" AFF.
8	5/8" (20 GAUGE) METAL STUDS @ 16" O/C @ 5/8" DRYWALL FINISH ON E.A. SIDE (EXTEND WALL UP TO BOTTOM OF ROOF DECK) . PROVIDE TWO COATS OF EPOXY PAINT FINISH ON LOCKER ROOM SIDE & TWO COATS OF INTERIOR LATEX PAINT ON HALLWAY / EVIDENCE ROOM SIDE. (PROVIDE R-11 BATT INSULATION UP TO ELEVATION 12'-6" AFF.)
9	5/8" (20 GAUGE) METAL STUDS @ 16" O/C @ 5/8" MOISTURE RESISTANT BOARD ON BOTH SIDES @ 1 COATS OF EPOXY PAINT FINISH.
10	5/8" (20 GAUGE) METAL STUDS @ 16" O/C @ DUROCK BOARD ON E.A. SIDE . (PROVIDE FULL CERAMIC TILE WAINSCOT ON E.A. SIDE OF THE WALL TO MATCH EXISTING) EXTEND WALL TO BOTTOM OF EXISTING DRYWALL CEILING.
11	5/8" (20 GAUGE) METAL STUDS @ 16" O/C @ 5/8" MOISTURE RESISTANT BOARD ON MOP SINK SIDE & 5/8" DRYWALL ON LOCKER ROOM SIDE. (PROVIDE 2 COATS OF EPOXY PAINT FINISH ON E.A. SIDE.)
12	PATCH & REPAIR EXISTING WALL ONCE EXISTING SHOWER WALL IS REMOVED & NEW WALL ERECTED. (PROVIDE FULL CERAMIC TILE WAINSCOT TO MATCH EXISTING).
13	REMOVE EXISTING STOREFRONT (BLOCK-UP OPENING TO MATCH EXISTING STRUCTURE) PROVIDE STUCCO FINISH ON EXTERIOR SIDE TO MATCH EXISTING & 5/8" DRYWALL OVER 3/8" METAL CHANNELS ON INTERIOR SIDE TO MATCH EXISTING FINISH. (EXPOSED BLOCK IN INTERVIEW ROOM & HOLDING CELLS)
14	REMOVE EXISTING STOREFRONT (BLOCK-UP OPENING TO MATCH EXISTING STRUCTURE) PROVIDE STUCCO FINISH ON EXTERIOR SIDE TO MATCH EXISTING & REMOVE EXISTING DRYWALL & FURRING STRIPS ON INTERIOR SIDE IN ORDER TO OBTAIN AN EXPOSED BLOCK SURFACE (BLOCK SURFACE SHALL BE PREPARED TO RECEIVE MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH (23 MILS THICKNESS)
15	EXISTING 2x4 WOOD STUDS @ 16" O/C @ 5/8" DRYWALL FINISH (WALL EXTEND UP TO 40'-0" AFF.) WALL TO BE LEGALIZED UNDER THIS PERMIT.
15A	EXISTING 3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C @ 5/8" DRYWALL FINISH (WALLS & DOORS TO BE LEGALIZED UNDER THIS PERMIT).
16	EXISTING WALL CONSIST OF 2x6 STUDS @ 16" O/C @ 5/8" DRYWALL FINISH ON E.A. SIDE (EXTEND WALL UP TO BOTTOM OF NEW METAL DECK) 5/8" @ 1.25 GAUGE METAL STUDS @ 16" O/C @ 5/8" DRYWALL FINISH ON E.A. SIDE (SEE SECTION "E" ON SHT. A-11
17	EXISTING CAT II SAFETY GLASS ON ALUMINUM FRAME STOREFRONT EXTEND UP TO 40'-0" AFF. ERECT NEW WALL ABOVE TOP OF STOREFRONT W/ 6" (20 GAUGE) METAL STUDS @ 16" O/C @ 5/8" DRYWALL FINISH ON E.A. SIDE (SEE SECTION "D" ON SHT. A-11
18	CAT II SAFETY GLASS ON ALUMINUM FRAME. (STOREFRONT TO EXTEND UP TO 40'-0" AFF.).
19	EXISTING DRYWALL FINISH OVER METAL FURRING CHANNELS TO REMAIN (PATCH-UP WALLS AS REQUIRED UPON COMPLETION OF ERECTION OF NEW PARTITIONS) FINISH TO MATCH EXISTING.
20A	3 5/8" (20 GAUGE) METAL STUDS @ 16" O/C @ 5/8" DRYWALL FINISH ON E.A. SIDE. (EXTEND WALL TO BOTTOM OF METAL DECK ABOVE) SEE SECTION "A" FOR DETAILS.
21	3 5/8" (20 GAUGE) METAL STUDS @ 16" @ 5/8" DRYWALL FINISH ON E.A. SIDE & R-11 BATT INSULATION. (EXTEND WALL TO BOTTOM OF EXISTING DRYWALL CEILING).
22	3 5/8" (20 GAUGE) METAL STUDS @ 16" @ 5/8" DRYWALL FINISH ON E.A. SIDE (EXTEND WALL UP TO BOTTOM OF ROOF SLAB) R-11 BATT INSULATION
23	6" (20 GAUGE) METAL STUDS @ 16" @ 5/8" TYPE "X" DRYWALL ON E.A. SIDE (EXTEND WALL TO UNDERSIDE OF ROOF DECK) UL-465
24	EXTEND EXISTING WALL UP TO BOTTOM OF ROOF SLAB @ 6" (20 GAUGE) METAL STUDS @ 16" O/C & 5/8" DRYWALL ON E.A. SIDE.
25	EXISTING 6" METAL STUD WALL @ 1/2" DRYWALL FINISH TO + 10'-0" AFF. CONTRACTOR SHALL TEMPORARILY REMOVE CEILING ON EITHER SIDE OF WALL IN ORDER TO EXTEND EXISTING DRYWALL ON EACH SIDE OF WALL TO BOTTOM OF ROOF SLAB. (BLOCK-UP OPENING) (FIELD VERIFY EXISTING CONDITIONS)

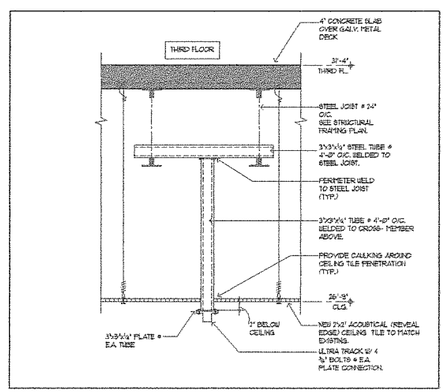


Training Room Coffee Area Millwork Elevation 3/8"
ROOM 202

Note:
1. EXTEND EXISTING WOOD BASE ON LOBBY SIDE ONCE NEW WALLS AND DOORS ARE ERECTED. (FINISH & COLOR TO MATCH EXISTING)
2. REMOVE EXISTING GLASS RAILING & CERAMIC TILE THAT FALL WITHIN NEW TRAINING ROOM ENCLOSURE. (CONTRACTOR SHALL CAREFULLY CUT FLOOR TILE AT NEW WALL & DOOR OPENING IN ORDER TO AVOID DAMAGING TILE IN LOBBY AREA THAT REMAINS.
3. MILLWORK: CONTRACTOR SHALL SUBMIT COMPLETE MILLWORK SHOP DRAWINGS INCLUSIVE OF WOOD SAMPLES, COLOR SAMPLES, HARDWARE AND GRANITE SAMPLES FOR REVIEW.



DA-Lift Pivot Motorized Projector Lift MODEL 33P
1"=1'-0"
ANCHOR TO JOIST AS PER MANUF. RECOMMENDATIONS. (SUBMIT SHOP DWGS FOR REVIEW)



Track Mounting Detail
1"=1'-0"

Balazs System Specification:

1. TRACK: POLDER COATED STRUCTURAL STEEL
2. BRAKE SYSTEM: PNEUMATIC
3. CONTROL SWITCH
4. BALAZS H28 TROLLEY (TOTAL OF 9)
5. 3-1/4" x 3'-0" PUNCHING BAG KITS
6. 2-1/4" x 9'-0" PUNCHING BAG H318

CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM INCLUDING ALL COMPONENTS, MOUNTING BRACKETS, TRACK SUPPORTS, PNEUMATIC CONTROL SYSTEM, AIR COMPRESSOR & ELECTRICAL PROVISIONS.

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PLANS MADE FOR CONSTRUCTION. PERMIT SHALL BE ISSUED TO THE BUILDING OFFICIAL AS REQUIRED BY THE FLORIDA BUILDING CODE AS AMENDED AND ADOPTED BY MIAMI-DADE COUNTY.

Date	3-27-14
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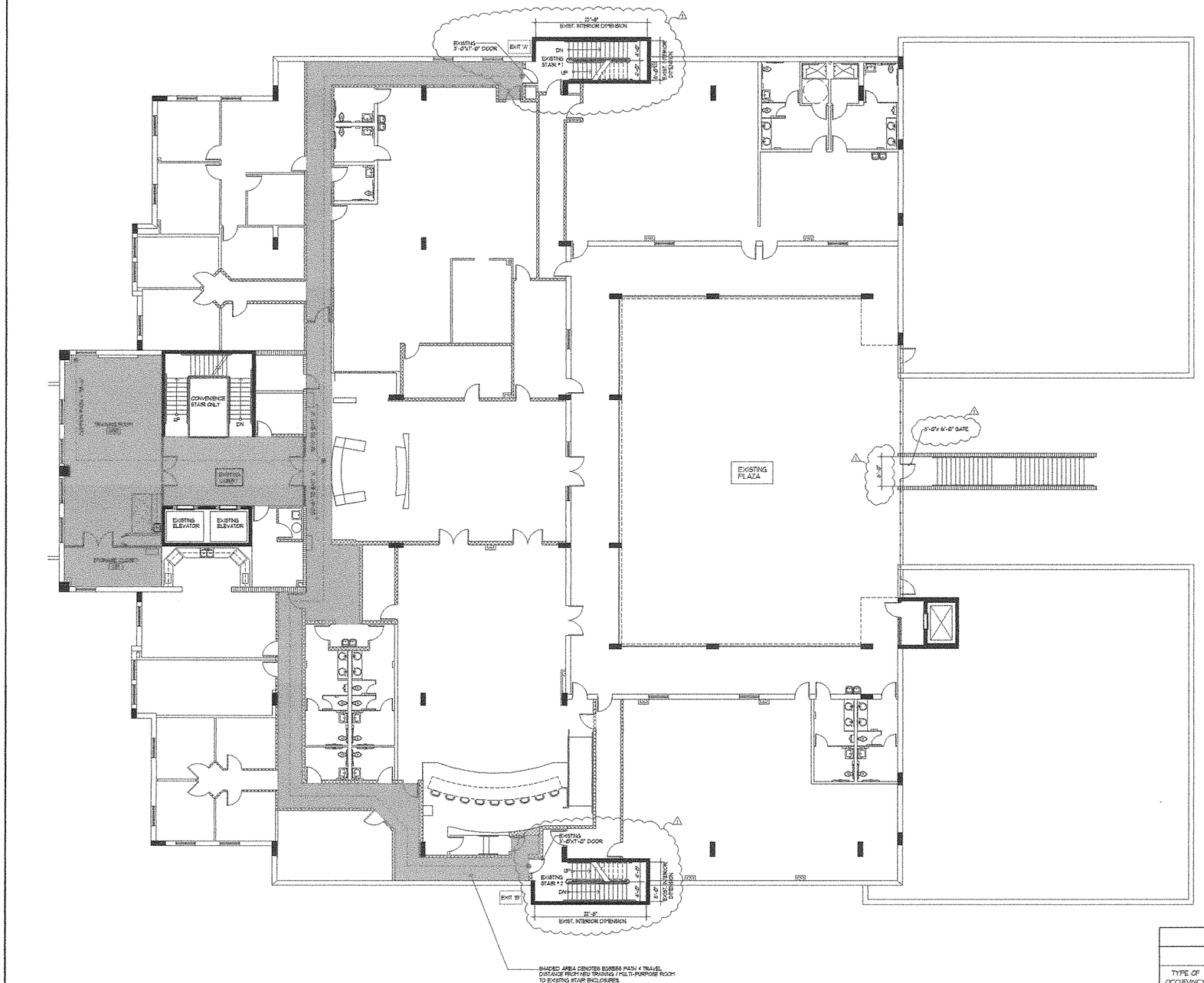

Partial Second Floor Life Safety Plan 1/8"

NORTH

LEGEND
- COMMON PATH
- TRAVEL DISTANCE LAYOUT

BUILDING LIFE SAFETY DATA

OCCUPANCIES — A (ASSEMBLY)
B (BUSINESS)

EXISTING BUILDING IS PROTECTED BY AN APPROVED FIRE SPRINKLER SYSTEM.

EGRESS CAPACITY REQUIREMENTS
AS PER: NFPA TABLE 1332 - 2010 EDITION (CAPACITY FACTORS)
FBC 2010 EDITION - EGRESS WIDTH

OCCUPANT LOAD:

EXISTING PLAZA AREA:	36738 ft² / 15 =	245	PERSONS
EXISTING CHAMBER'S AREA:	1344 ft² / 15 =	90	PERSONS
EXISTING OFFICE AREA:	11004 ft² / 100 =	110	PERSONS
EXISTING STORAGE AREA:	3654 ft² / 300 =	2	PERSONS
NEW OFFICE AREA:	734 ft² / 100 =	8	PERSONS
NEW STORAGE AREA:	1809 ft² / 1000 =	1	PERSON
TOTAL AREA =	43,335 SQ. FT.		
TOTAL OCCUPANT LOAD:		536	PERSONS

AREAS	STAIRWAYS (width per person) INCHES	LEVEL COMPONENTS AND RAMPS (width per person) INCHES
ALL OTHERS	0.3	0.2

OCCUPANCY LOAD — 536 PERSONS
CAPACITY FACTOR REQUIRED (stairways width) — (536) (0.3) = 161" OF STAIRWAY WIDTH
CAPACITY FACTOR REQUIRED (exit width) — (536) (0.2) = 108" OF EXIT WIDTH
CAPACITY PROVIDED (stairways width) — 168"
CAPACITY PROVIDED (exit width) — 108"

MINIMUM INTERIOR FINISH CLASSIFICATION

OCCUPANCY	SPRINKLERED			UNSPRINKLERED		
	EXITS	CORRIDORS	OTHER SPACES	EXITS	CORRIDORS	OTHER SPACES
A-1 & A-2	B	B	C	A	A[d]	B
B	B	C	C	A	B	C

d - LOBBY AREAS IN GROUP A-1, A-2 AND A-3 OCCUPANCIES SHALL NOT BE LESS THAN CLASS 'B' MATERIALS.

LIFE SAFETY REQUIREMENTS

NFPA 101, 2010 EDITION
TABLE A.7.6 COMMON PATH, DEAD-END, AND TRAVEL DISTANCE LIMITS

TYPE OF OCCUPANCY	COMMON PATH LIMIT UNSPRINKLERED ft (ft.)	COMMON PATH LIMIT SPRINKLERED ft (ft.)	DEAD-END LIMIT UNSPRINKLERED ft (ft.)	DEAD-END LIMIT SPRINKLERED ft (ft.)	TRAVEL DISTANCE LIMIT UNSPRINKLERED ft (ft.)	TRAVEL DISTANCE LIMIT SPRINKLERED ft (ft.)
ASSEMBLY: EXISTING	61/23 (10/75)	61/23 (10/75)	61 (20)	61 (20)	61 (200)	76 (250)
BUSINESS: EXISTING	23 (75)	30 (100)	61 (20)	15 (50)	61 (200)	91 (300)

FLORIDA BUILDING CODE - 2010 EDITION
TABLE 1016.1 - EXIT ACCESS TRAVEL DISTANCE

OCCUPANCY	WITHOUT SPRINKLER SYSTEM (Feet)	WITH SPRINKLER SYSTEM (Feet)
A, F-1, H	200	250
B	200	300

NOTE:
FOR TRAVEL DISTANCES PROVIDED, SEE FLOOR PLANS

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Scale
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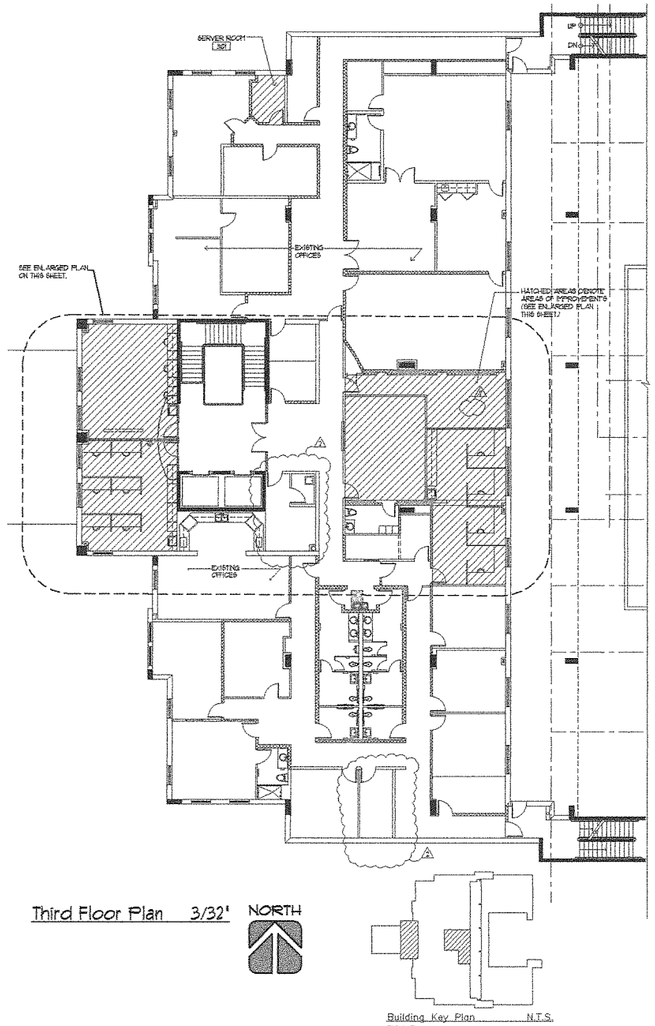
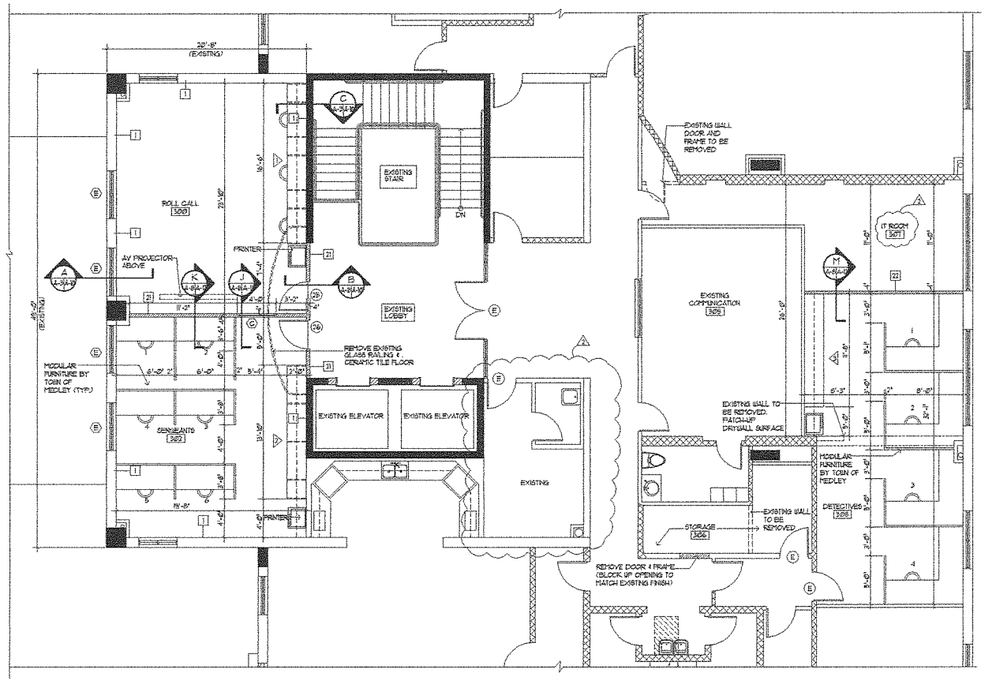
Of Sheets



Third Floor Plan 3/32" NORTH

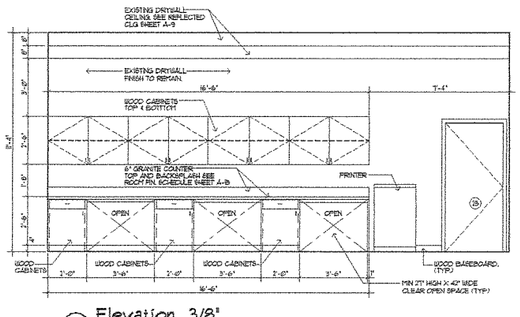


Partial Enlarged Third Floor Plan 3/16" NORTH

NOTE:
MODULAR FURNITURE TO BE PROVIDE BY TOWN OF MEDLEY.
CONTRACTOR SHALL ASSEMBLE, INSTALL AND CONNECT ALL MODULAR FURNITURE TO ELECTRICAL AND VOICE DATA OUTLETS (TYPICAL)

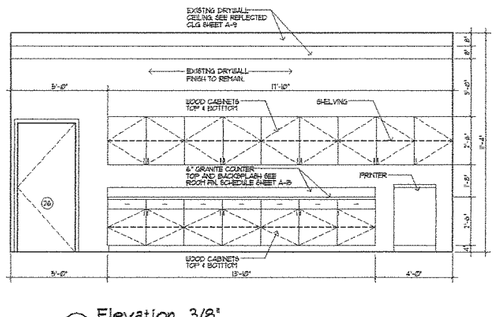
#) --DOOR NUMBER
@) --WINDOW TYPE
WALL TYPE a
WALL TYPE DESIGNATION
SECTION NAME
SECTION TAKEN FROM SHEET #
SECTION APPEARS ON SHEET #
SECTION DESIGNATION

NOTE:
PROVIDE REQUIRED WOOD BLOCKING FOR WALL MOUNTED CABINETRY AND ACCESSORIES.



1 Elevation 3/8"
ROLL CALL Room #300

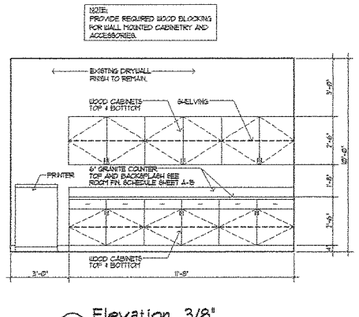
NOTE:
PROVIDE REQUIRED WOOD BLOCKING FOR WALL MOUNTED CABINETRY AND ACCESSORIES.



2 Elevation 3/8"
SERGEANTS Room #302

MILLWORK NOTE:
1.- MILLWORK CONTRACTOR SHALL SUBMIT COMPLETE MILLWORK SHOP DRAWINGS INCLUSIVE OF WOOD SAMPLES FOR REVIEW.
2.- ALL WOOD CABINETS SHALL BE OAK W/ STAIN FINISH AND TWO COATS OF CLEAR POLYURETHANE FINISH.
3.- ALL HARDWARE SHALL BE STAINLESS-STEEL.
4.- ALL DRAWER & DOOR PULLS SHALL BE STAINLESS-STEEL.
5.- BACKSPLASH & COUNTER-TOP SHALL BE ¾" MIN. GRANITE (CONTRACTOR SHALL SUBMIT SAMPLES FOR OWNER'S SELECTION).

NOTE:
PROVIDE REQUIRED WOOD BLOCKING FOR WALL MOUNTED CABINETRY AND ACCESSORIES.



3 Elevation 3/8"
DETECTIVES Room #306

WALL LEGEND

TYPE	DESCRIPTION
1	EXISTING DRYWALL SURFACE SHALL BE PATCHED TO MATCH EXISTING ADJACENT WALL FINISH ONCE NEW WALLS ARE ERECTED.
1A	EXISTING DRYWALL FINISH, INSULATION & FURRING CHANNELS SHALL BE COMPLETELY REMOVED. (EXISTING MASONRY SHALL BE VERTICALLY PATCHED ONCE NEW WALLS ARE ERECTED) ALL EXPOSED MASONRY WALLS SHALL BE PATCHED, PREPED & SEALED PRIOR TO RECEIVING TWO COATS OF EPOXY PAINT FINISH (COLOR AS SELECTED BY TOM.)
2	8" REINFORCED MASONRY WALL @ 1-16 VERT IN GROUT FILLED CELLS @ 4'-0" O/C W/ MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH (12 MILS THICKNESS) FILL ALL CELLS WITH GROUT UP TO ELEVATION 40'-0" AFF. PROVIDE ⅝" DRYWALL FINISH OVER ¾" METAL FURRING CHANNELS @ 24" O/C ON PROCESSING ROOM / HALLWAY SIDE.
2A	8" REINFORCED MASONRY WALL W/ ⅝" DRYWALL FINISH ON ¾" METAL FURRING CHANNELS @ 24" O/C ON E.A. SIDE.
2B	8" REINFORCED MASONRY WALL W/ ARMOR-GLAZE WALL SYSTEM FINISH (12 MILS THICKNESS) ON BOTH SIDES OF WALL.
2C	8" REINFORCED MASONRY WALL W/ ARMOR-GLAZE WALL SYSTEMS FINISH (12 MILS THICKNESS) ON INTERVIEW ROOM SIDE (2B) & ¾" DRYWALL OVER ¾" METAL FURRING CHANNELS @ 24 O/C ON VESTIBULE SIDE.
3	REMOVE EXISTING DRYWALL, INSULATION & FURRING CHANNELS PATCH-UP EXISTING BLOCK SURFACE PRIOR TO APPLYING MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH.
4	8" EXPOSED REINFORCED MASONRY WALL W/ 1-16 VERT IN GROUT FILLED CELLS @ 4'-0" O/C W/ MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH ON INTERVIEW ROOM SIDE & 2 COATS OF EPOXY PAINT FINISH ON EQ. STORAGE ROOM SIDE.
5	8" EXPOSED REINFORCED MASONRY WALL W/ 1-16 VERT IN GROUT FILLED CELLS @ 4'-0" W/ 2 COATS OF EPOXY PAINT FINISH ON E.A. SIDE OF WALL FILL ALL CELLS W/ GROUT TO ELEVATION 42'-0" AFF. (PAINT WALLS UP TO ROOF SLAB ELEVATION)
6	8" REINFORCED MASONRY WALL W/ 1-16 VERT IN GROUT FILLED CELLS @ 4'-0" O/C W/ 2 COATS OF EPOXY PAINT FINISH ON E.A. SIDE (EXISTING EQ. STORAGE SIDE) & ¾" DRYWALL OVER 3/4" FURRING CHANNELS ON COMMUNICATION, EVIDENCE & PROCESSING ROOM SIDE. (DRYWALL FINISH TO MATCH EXIST.)
7	8" REINFORCED MASONRY WALL W/ 1-16 VERT IN GROUT FILLED CELLS @ 4'-0" O/C W/ MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH ON PROCESSING ROOM SIDE & ¾" DRYWALL OVER ¾" METAL FURRING CHANNELS @ 24" O/C W/ 2 COATS OF EPOXY FINISH ON LOCKER ROOM SIDE. / EQUIPMENT ROOM SIDE. FILL ALL CELLS W/ GROUT UP TO ELEVATION 40'-0" AFF.
8	3⅝" (20 GAUGE) METAL STUDS @ 16" O/C W/ ⅝" DRYWALL EQUIPMENT ROOM E.A. SIDE (EXTEND WALL UP TO BOTTOM OF ROOF DECK) . PROVIDE TWO COATS OF EPOXY PAINT FINISH ON LOCKER ROOM SIDE & TWO COATS OF INTERIOR LATEX PAINT ON HALLWAY / EVIDENCE ROOM SIDE. (PROVIDE R-13 BATT INSULATION UP TO ELEVATION 42'-0" AFF.)
9	3⅝" (20 GAUGE) METAL STUDS @ 16" O/C W/ ⅝" MOISTURE RESISTANT BOARD ON BOTH SIDES W/ 2 COATS OF EPOXY PAINT FINISH.
10	3⅝" (20 GAUGE) METAL STUDS @ 16" O/C W/ DUROCK BOARD ON E.A. SIDE. (PROVIDE FULL CERAMIC TILE WAINSCOT ON E.A SIDE OF THE WALL TO MATCH EXISTING) EXTEND WALL TO BOTTOM OF EXISTING DRYWALL CEILING.
11	3⅝" (20 GAUGE) METAL STUDS @ 16" O/C W/ ⅝" MOISTURE RESISTANT BOARD ON MOP SINK SIDE & ⅝" DRYWALL ON LOCKER ROOM SIDE. (PROVIDE 2 COATS OF EPOXY PAINT FINISH ON E.A. SIDE)
12	PATCH & REPAIR EXISTING WALL ONCE EXISTING SHOWER WALL IS REMOVED & NEW WALL ERECTED. (PROVIDE FULL CERAMIC TILE WAINSCOT TO MATCH EXISTING)
13	REMOVE EXISTING STOREFRONT (BLOCK-UP OPENING TO MATCH EXISTING STRUCTURE) PROVIDE STUCCO FINISH ON EXTERIOR SIDE TO MATCH EXISTING & ¾" DRYWALL OVER ¾" METAL CHANNELS ON INTERIOR SIDE TO MATCH EXISTING FINISH. (EXPOSED BLOCK IN INTERVIEW ROOM & HOLDING CELLS)
14	REMOVE EXISTING STOREFRONT (BLOCK-UP OPENING TO MATCH EXISTING STRUCTURE) PROVIDE STUCCO FINISH ON EXTERIOR SIDE TO MATCH EXISTING & REMOVE EXISTING DRYWALL & FURRING STRIPS ON INTERIOR SIDE IN ORDER TO OBTAIN AN EXPOSED BLOCK SURFACE (BLOCK SURFACE SHALL BE PREPARED TO RECEIVE MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM FINISH (12 MILS THICKNESS)
15	EXISTING 2x4 WOOD STUDS @ 16" O/C W/ ½" DRYWALL FINISH. (WALL EXTEND UP TO 40'-0" AFF.) WALL TO BE LEGALIZED UNDER THIS PERMIT.
15A	EXISTING 3⅝" (20 GAUGE) METAL STUDS @ 16" O/C W/ ½" DRYWALL FINISH. (WALLS & DOORS TO BE LEGALIZED UNDER THIS PERMIT).
16	EXISTING WALL CONSIST OF 2x6 STUDS @ 16" O/C W/ ½" DRYWALL FINISH ON E.A. SIDE. (EXTEND WALL UP TO BOTTOM OF NEW METAL DECK W/ 6" (20 GAUGE) METAL STUDS @ 16" W/ ½" DRYWALL FINISH ON E.A. SIDE (SEE SECTION "B" ON SHT. A-9
17	EXISTING CAT II SAFETY GLASS ON ALUMINUM FRAME STOREFRONT. EXTEND UP TO 40'-0" AFF. ERECT NEW WALL ABOVE TOP OF STOREFRONT W/ 6" (20 GAUGE) METAL STUDS @ 16" O/C W/ ½" DRYWALL FINISH ON E.A. SIDE (SEE SECTION "D" ON SHT. A-9
18	CAT II SAFETY GLASS ON ALUMINUM FRAME. (STOREFRONT TO EXTEND UP TO 40'-0" AFF.)
19	EXISTING DRYWALL FINISH OVER METAL FURRING CHANNELS TO REMAIN (PATCH-UP WALLS AS REQUIRED UPON COMPLETION OF ERECTION OF NEW PARTITIONS) FINISH TO MATCH EXISTING.
20B	3⅝" (20 GAUGE) METAL STUDS @ 16" O/C W/ ½" DRYWALL FINISH ON E.A. SIDE. (EXTEND WALL TO BOTTOM OF METAL DECK ABOVE) SEE SECTION "A" FOR DETAILS.
21	3⅝" (20 GAUGE) METAL STUDS @ 16" W/ ½" DRYWALL FINISH ON E.A. SIDE & R-13 BATT INSULATION. (EXTEND WALL TO BOTTOM OF EXISTING DRYWALL CEILING) .
22	3⅝" (20 GAUGE) METAL STUDS @ 16" W/ ½" DRYWALL FINISH ON E.A. SIDE (EXTEND WALL UP TO BOTTOM OF ROOF SLAB) R-11 BATT INSULATION
23	6" (20 GAUGE) METAL STUDS @ 16" W/ ½" TYPE "X" DRYWALL ON E.A. SIDE (EXTEND WALL TO UNDERSIDE OF ROOF DECK) U.L.#419
24	EXTEND EXISTING WALL UP TO BOTTOM OF ROOF SLAB W/ 6" (20 GAUGE) METAL STUDS @ 16" O/C & ½" DRYWALL ON E.A SIDE.
25	EXISTING 6" METAL STUD WALL W/ ½" DRYWALL FINISH TO + 57'-0" AFF. CONTRACTOR SHALL TEMPORARILY REMOVE CEILING ON EITHER SIDE OF WALL IN ORDER TO EXTEND EXISTING DRYWALL ON EACH SIDE OF WALL TO BOTTOM OF ROOF SLAB. (BLOCK-UP OPENING) (FIELD VERIFY EXISTING CONDITIONS)

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Municipal Services Facility
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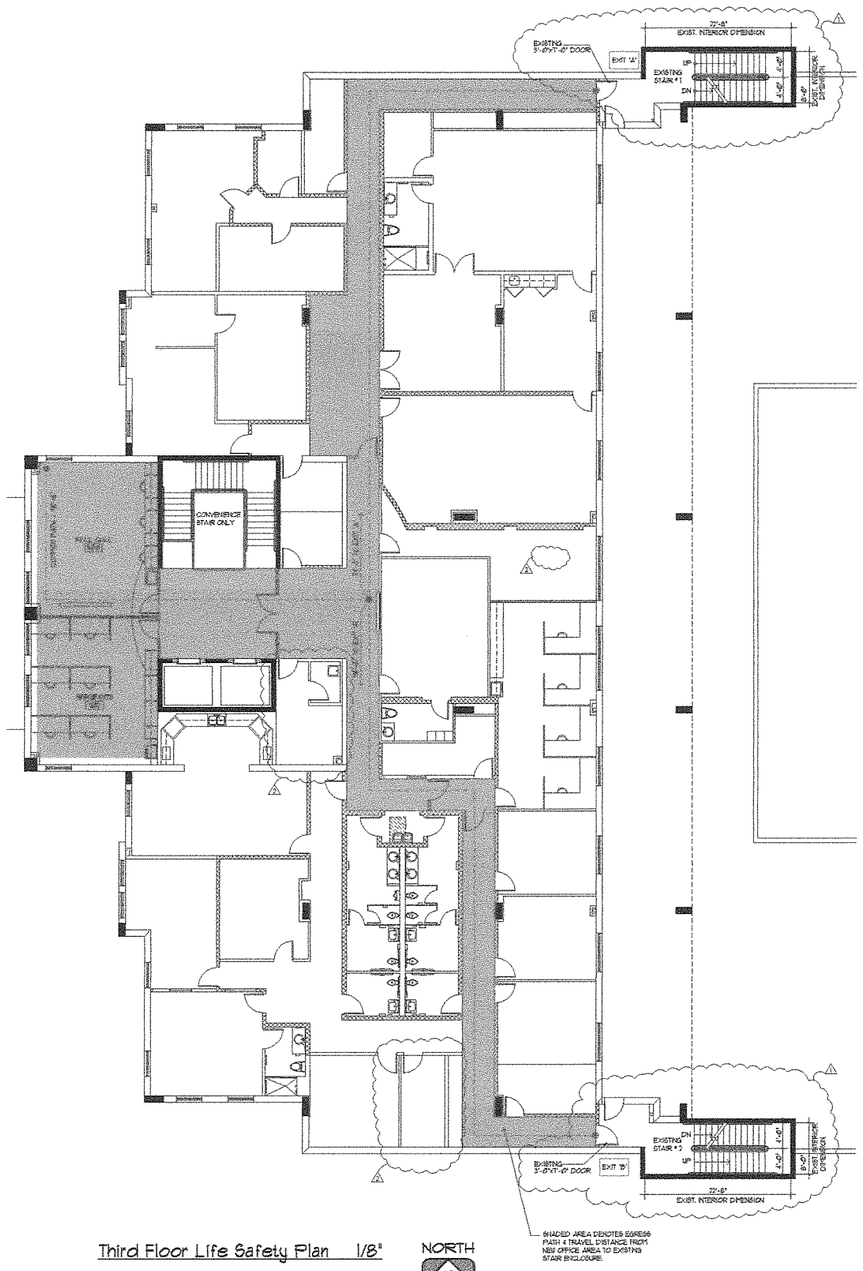

Third Floor Life Safety Plan 1/8"

NORTH

LEGEND

- - - - - - - - - - COMMON PATH

- - - - - - - - - - TRAVEL DISTANCE LAYOUT

BUILDING LIFE SAFETY DATA

OCCUPANCIES — A (ASSEMBLY)
B (BUSINESS)

EXISTING BUILDING IS PROTECTED BY AN APPROVED FIRE SPRINKLER SYSTEM. (SPRINKLERS BY OTHERS)

EGRESS CAPACITY REQUIREMENTS
AS PER: NFPA TABLE 7.3.3.2 - 2010 EDITION (CAPACITY FACTORS)
FBC, 2010 EDITION - EGRESS WIDTH

OCCUPANT LOAD
EXISTING OFFICE AREA ——— 11,332#
NEW OFFICE AREA ——— 924#
TOTAL AREA ——— 12,256# @ 1/100 = 123
TOTAL OCCUPANT LOAD ——— 123 PERSONS

	STAIRWAYS (width per person)	LEVEL COMPONENTS AND RAMPS (width per person)
AREAS	INCHES	INCHES
ALL OTHERS	Ø .3	Ø .2

OCCUPANCY LOAD — 123 PERSONS
CAPACITY FACTOR REQUIRED (stairway width) ——— (123/.03) = 37.2" OF STAIRWAYS WIDTH
CAPACITY FACTOR REQUIRED (exit width) ——— (123/.03) = 29.4" OF EXIT WIDTH
CAPACITY PROVIDED (stairway width) ——— 36"
CAPACITY PROVIDED (exit width) ——— 72"

MINIMUM INTERIOR FINISH CLASSIFICATION

OCCUPANCY	SPRINKLERED			UNSPRINKLERED		
	EXITS	CORRIDORS	OTHER SPACES	EXITS	CORRIDORS	OTHER SPACES
A-1 & A-2	B	B	C	A	A[d]	B
B	B	C	C	A	B	C

d - LOBBY AREAS IN GROUP A-1, A-2 AND A-3 OCCUPANCIES SHALL NOT BE LESS THAN CLASS "B" MATERIALS.

LIFE SAFETY REQUIREMENTS

N.F.P.A. 101, 2010 EDITION
TABLE A.7.6 COMMON PATH, DEAD-END, AND TRAVEL DISTANCE LIMITS

TYPE OF OCCUPANCY	COMMON PATH LIMIT		DEAD-END LIMIT		TRAVEL DISTANCE LIMIT	
	UNSPRINKLERED m (ft.)	SPRINKLERED m (ft.)	UNSPRINKLERED m (ft.)	SPRINKLERED m (ft.)	UNSPRINKLERED m (ft.)	SPRINKLERED m (ft.)
ASSEMBLY EXISTING	61/23 (20/75)	61/23 (20/75)	61 (20)	61 (20)	61 (200)	76 (250)
BUSINESS EXISTING	23k (75)	30k (100)	61 (20)	15 (50)	61 (200)	91 (300)

FLORIDA BUILDING CODE - 2010 EDITION
TABLE 1016.1 - EXIT ACCESS TRAVEL DISTANCE

OCCUPANCY	WITHOUT SPRINKLER SYSTEM (feet)	WITH SPRINKLER SYSTEM (feet)
A, F-1, I-1	200	250
B	200	300

NOTE:
FOR TRAVEL DISTANCES PROVIDED, SEE FLOOR PLANS

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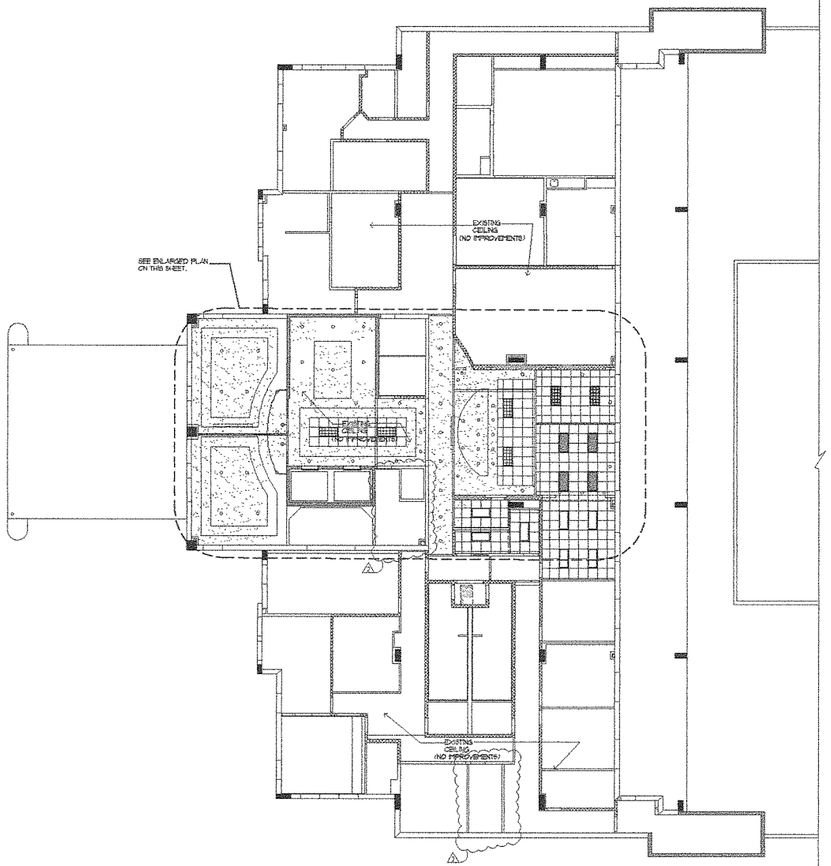
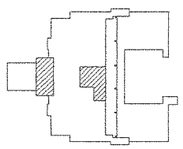


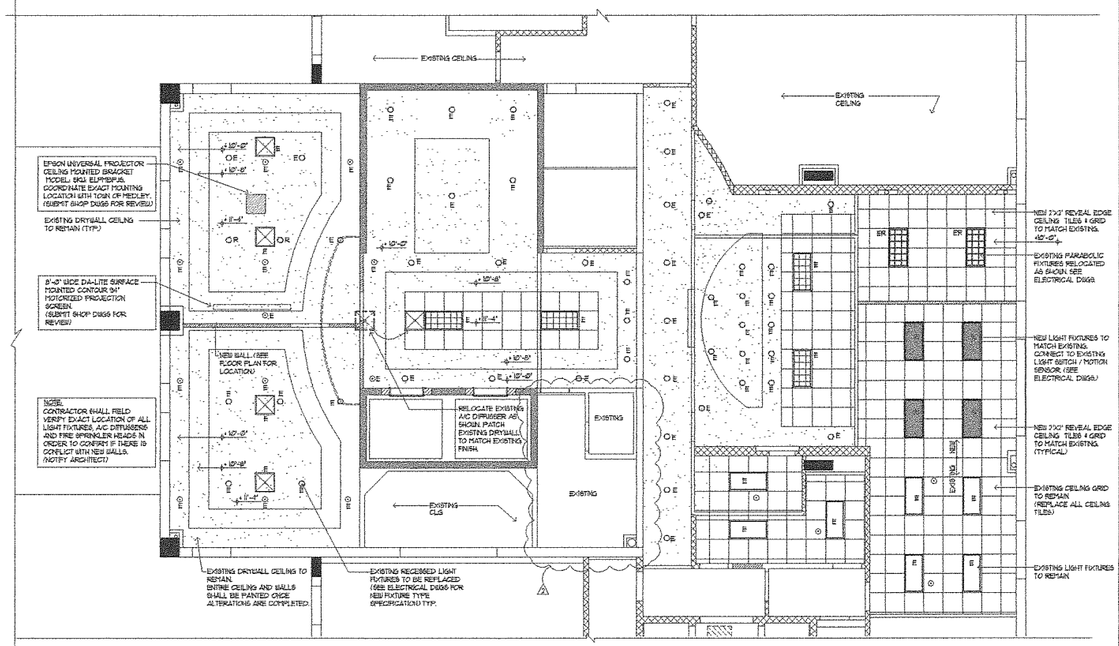
Reflected Ceiling Plan 3/32"

THIRD FLOOR

NORTH



Building Key Plan N.T.S.
Third Floor

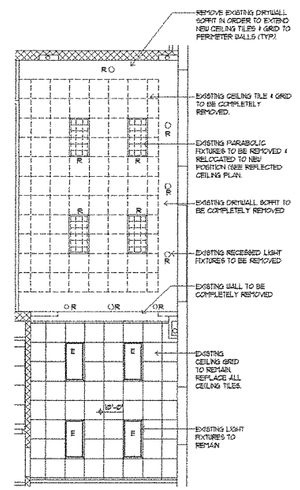


Enlarged Partial Reflected Ceiling Plan 3/16"

ROLL - CALL & SERGEANTS OFFICE

NORTH

NOTE:
1- PROVIDE CONTINUOUS CEILING GRID IN ENLARGED DETECTIVES OFFICE AS SHOWN.



Reflected Ceiling Demolition Plan 3/16"

DETECTIVES OFFICE

LEGEND		
E (EXISTING)		EXISTING 2' X 4' FLUORESCENT LIGHT FIXTURES TO REMAIN
E (EXISTING)		EXISTING 2' X 4' PARABOLIC FLUORESCENT LIGHT FIXTURES TO REMAIN
E (EXISTING)		EXISTING RECESSED ACCENT LIGHTING TO REMAIN
ER (EXIST. RELOCATED)		EXISTING 2' X 4' FLUORESCENT LIGHT FIXTURES TO BE RELOCATED
R (TO BE REMOVED)		EXISTING RECESSED LIGHT FIXTURES TO BE REMOVED PATCH UP DRYWALL FINISH TO MATCH EXISTING DRYWALL FINISH.
N (NEW)		NEW 2' X 4' FLUORESCENT LIGHT FIXTURE TO MATCH EXISTING. SEE ELECTRICAL DWGS.
N (NEW)		NEW RECESSED ACCENT LIGHTING SEE ELECTRICAL DWGS.

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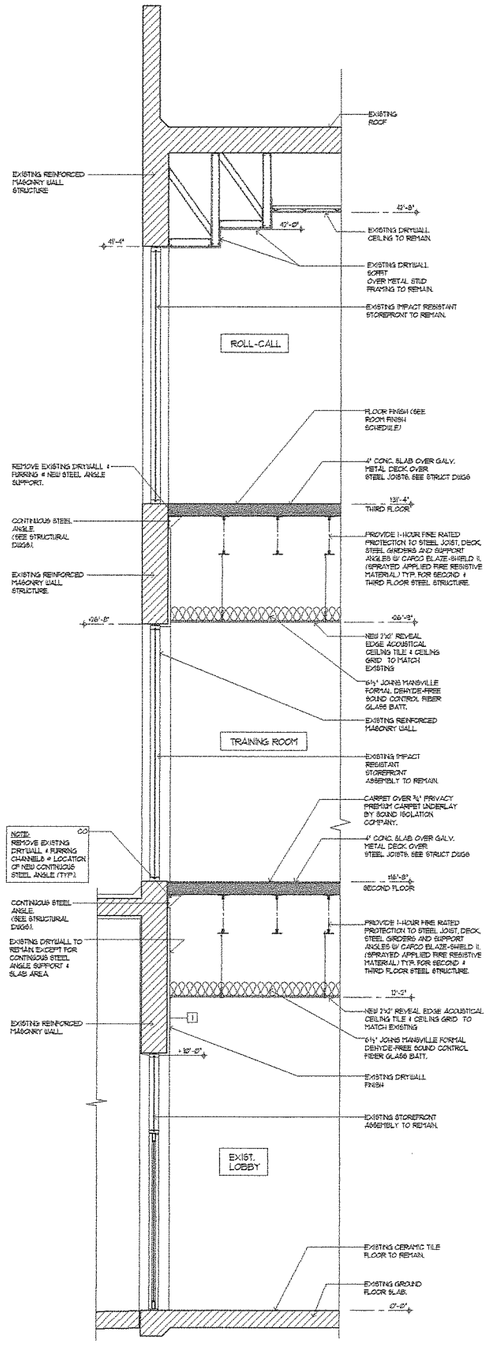

Section
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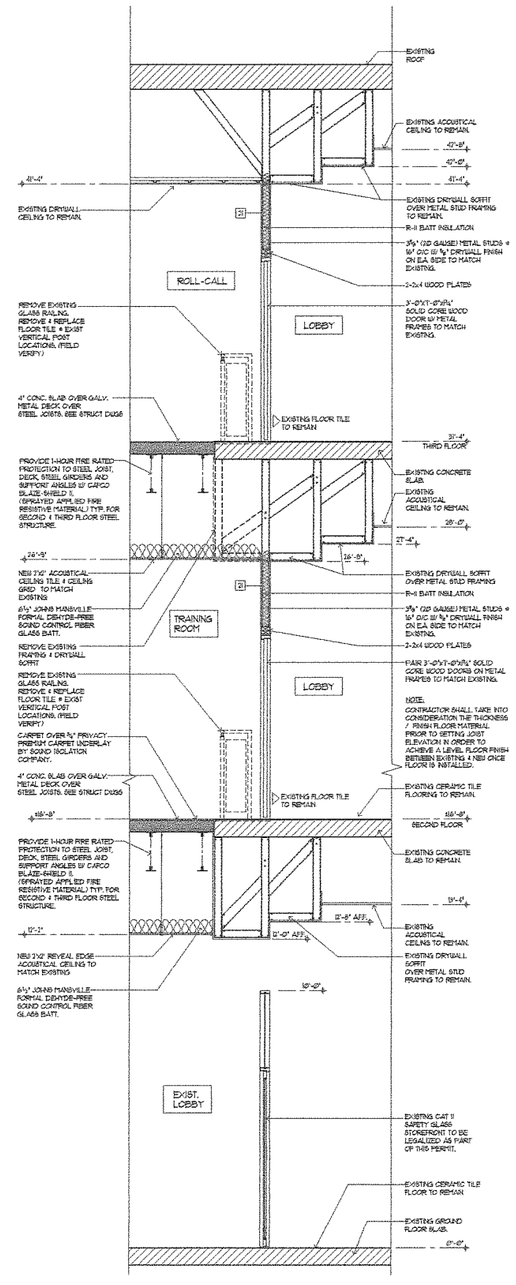
A
A-3|4-10



Section
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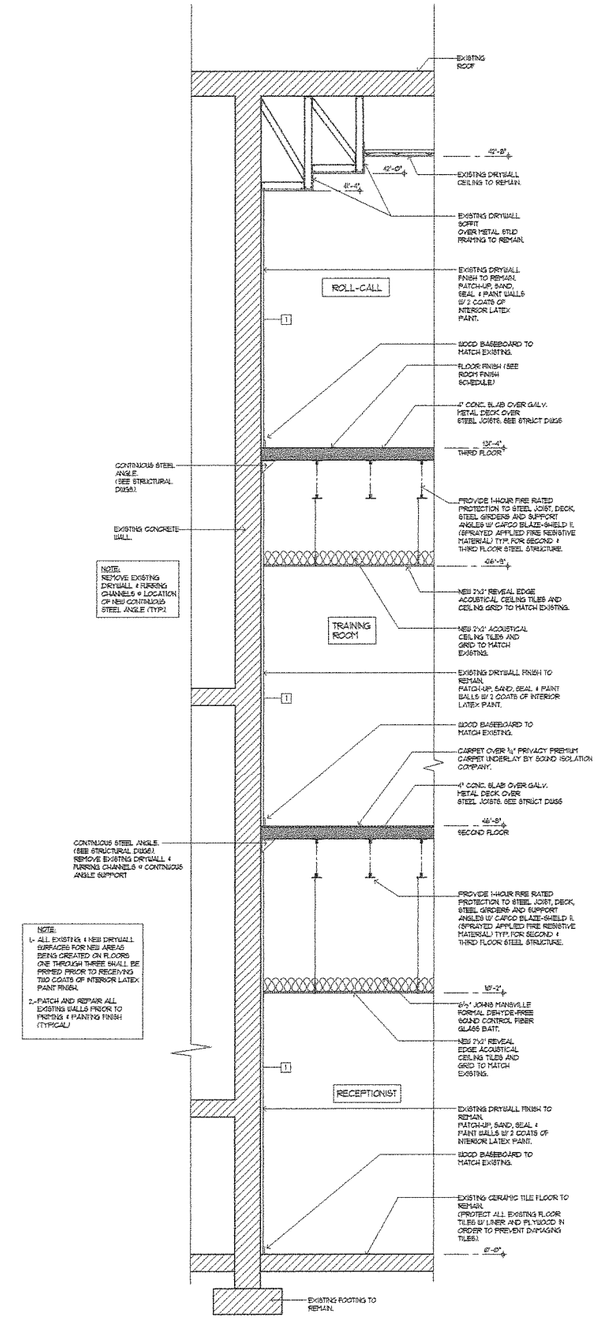

Section
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C
A-3|4-10

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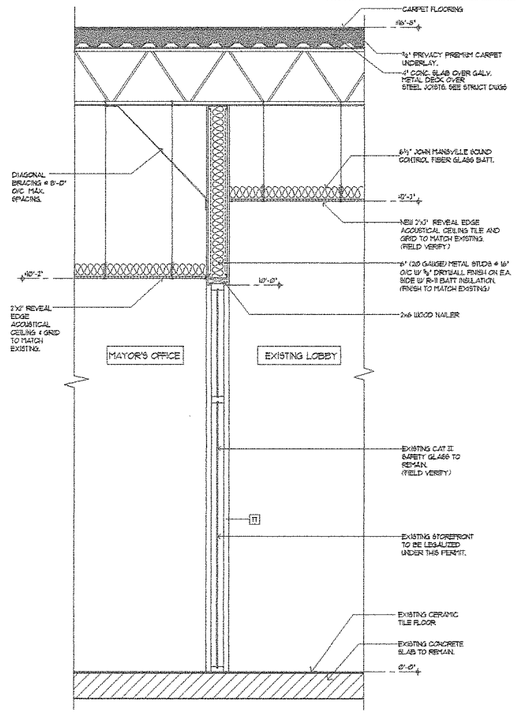

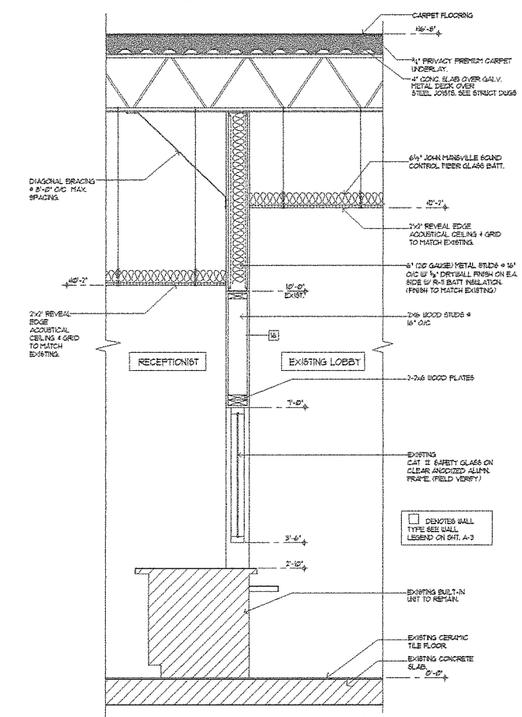

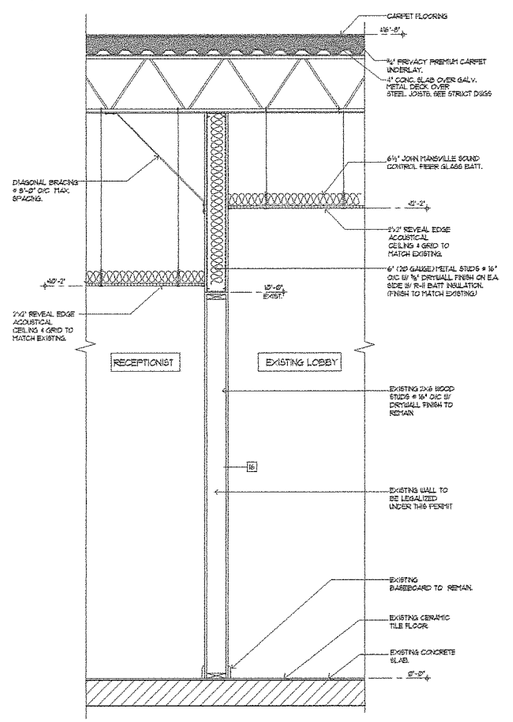

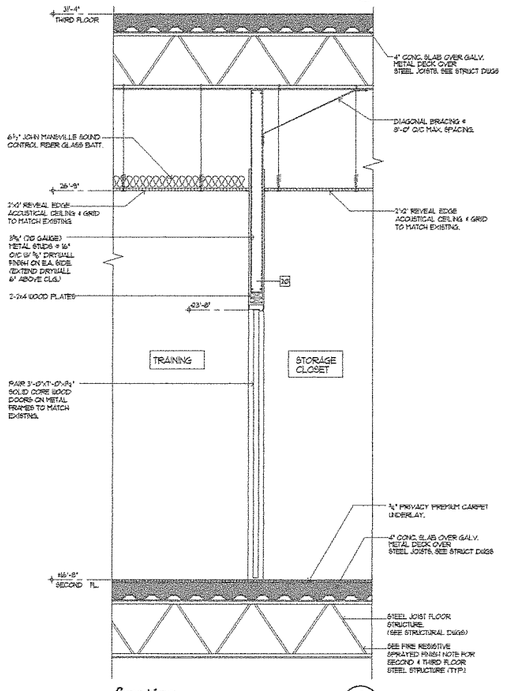

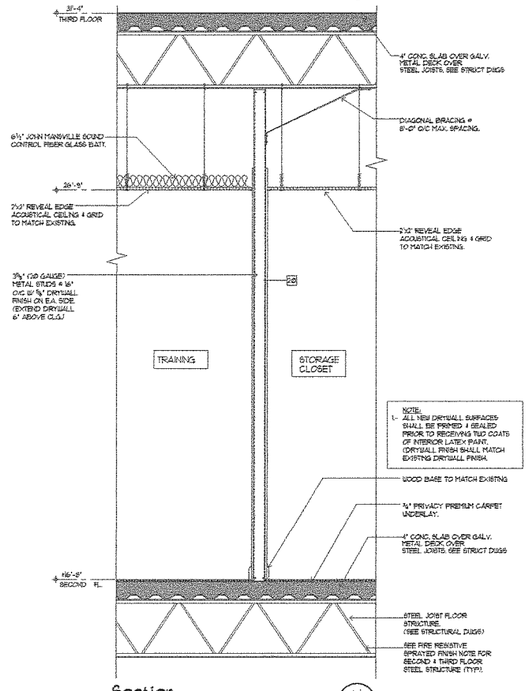

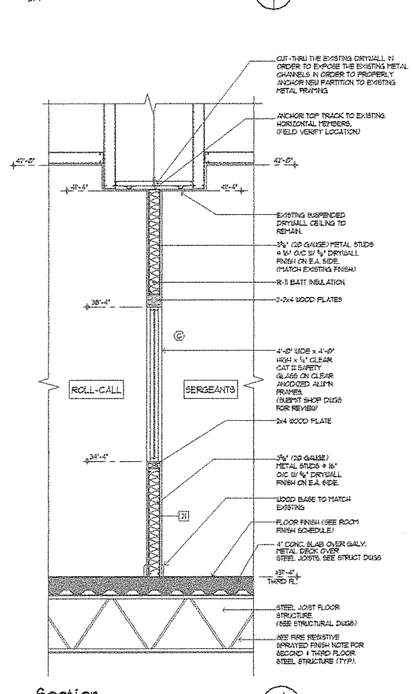

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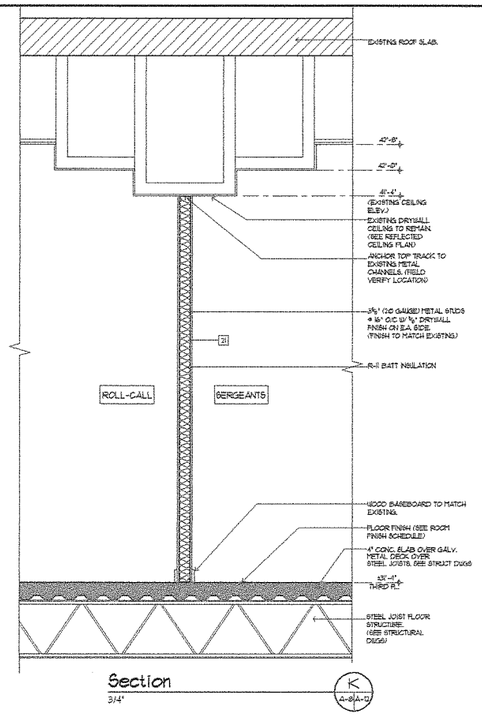
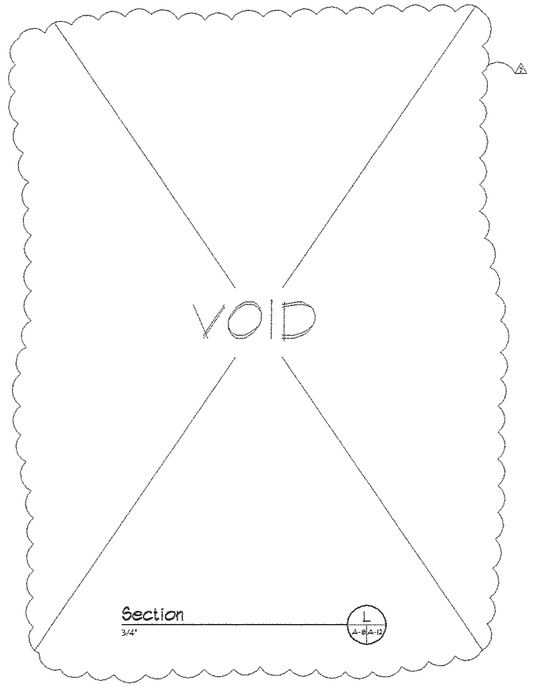


Section K
3/4" A-8|A-12



Section L
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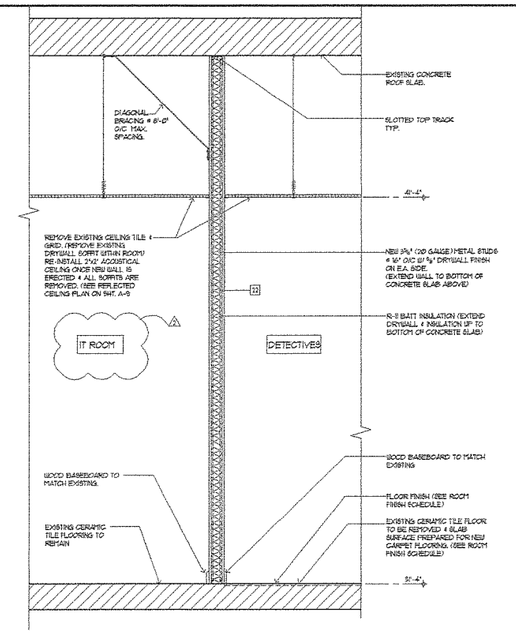

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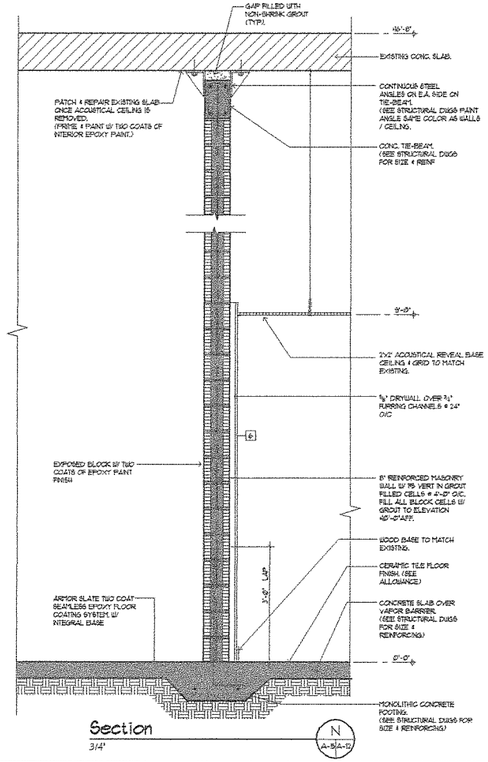
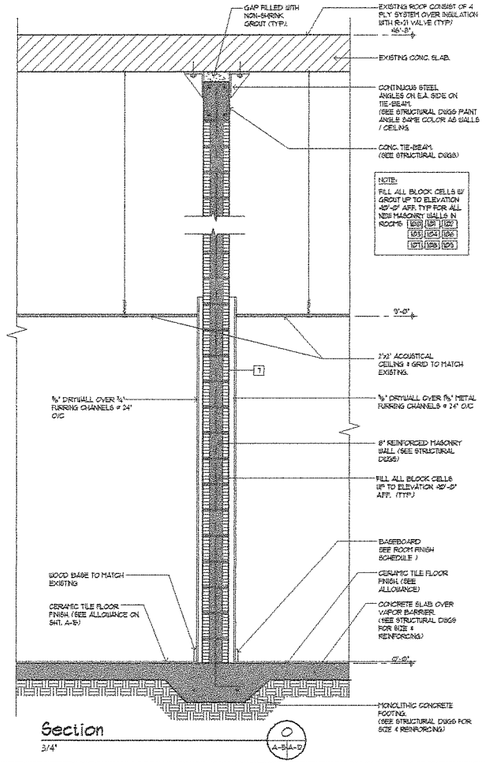


NOTE:
FILL ALL BLOCK CELLS WITH GROUT TO ELEVATION 48'-0" AFF. FILL CELLS W/ ⅝ REINFORCING UP TO CONCRETE TIE-BEAM

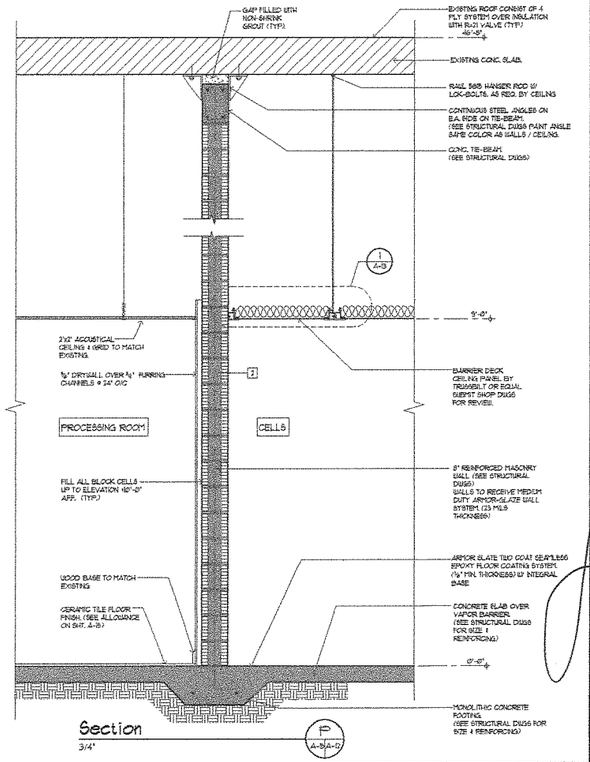
Section N
3/4" A-8|A-12



NOTE:
FILL ALL BLOCK CELLS W/ GROUT UP TO ELEVATION 48'-0" AFF. TYP FOR ALL NEW MASONRY WALLS IN ROOMS:

103	107	109
105	106	108
121	122	123
124	125	126

Section O
3/4" A-8|A-12



Section P
3/4" A-8|A-12

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Interior Design
Corp. Lic. # AA-C001924

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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-8541

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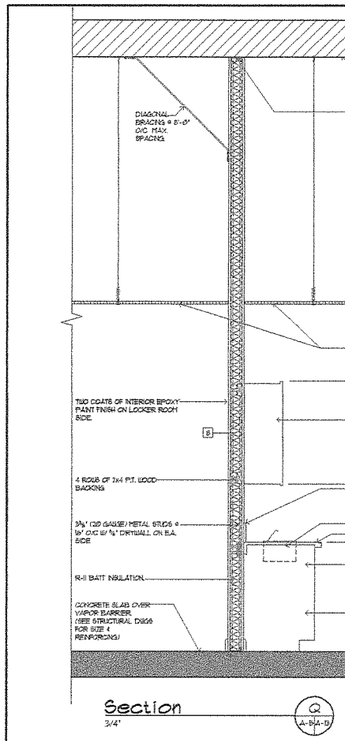
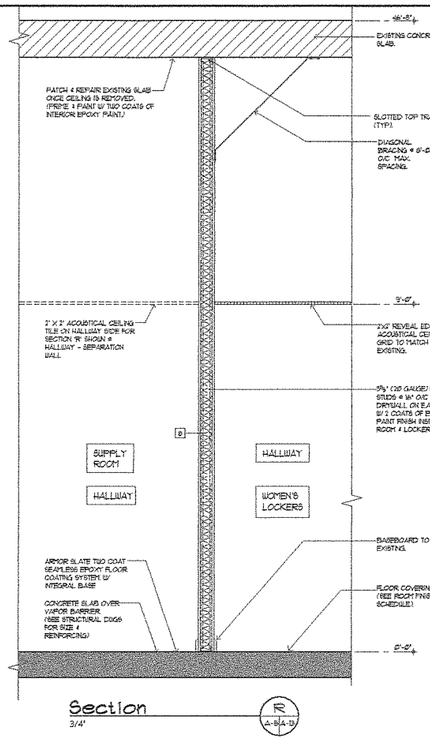
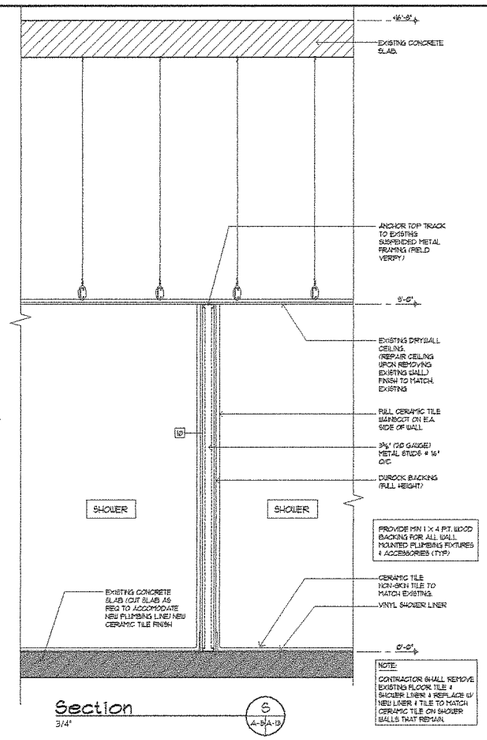
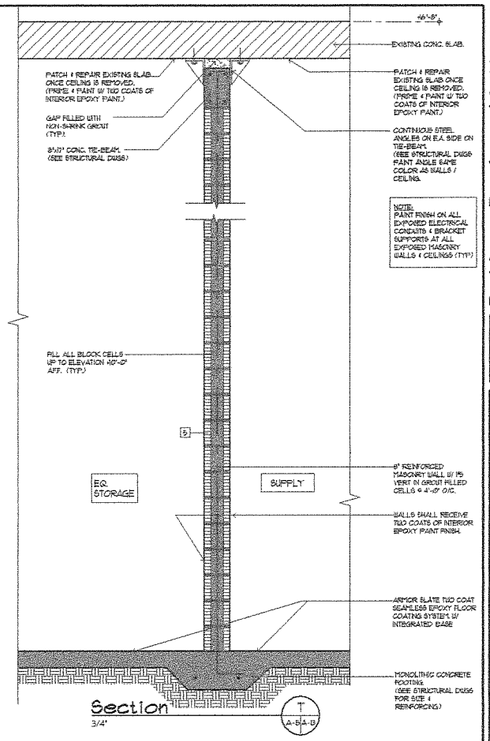
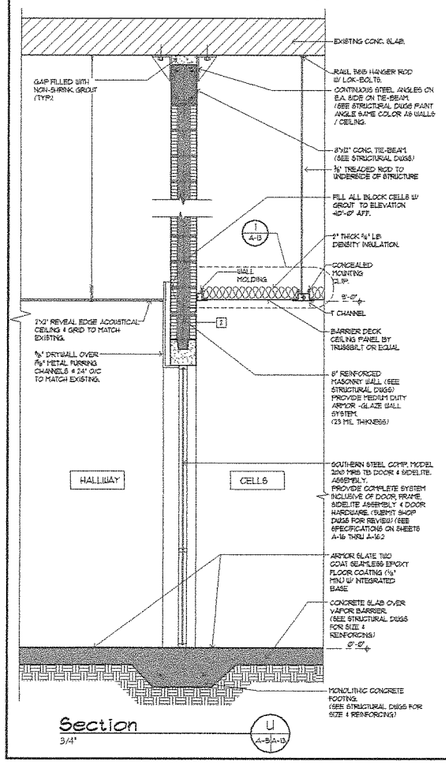
Of	Sheets

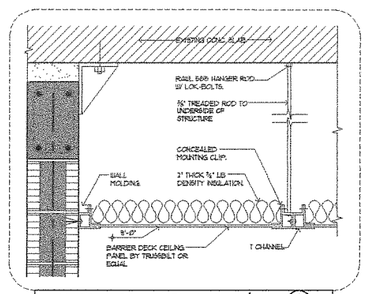


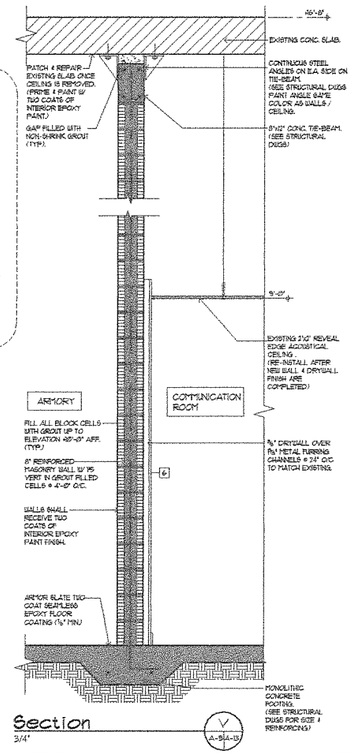


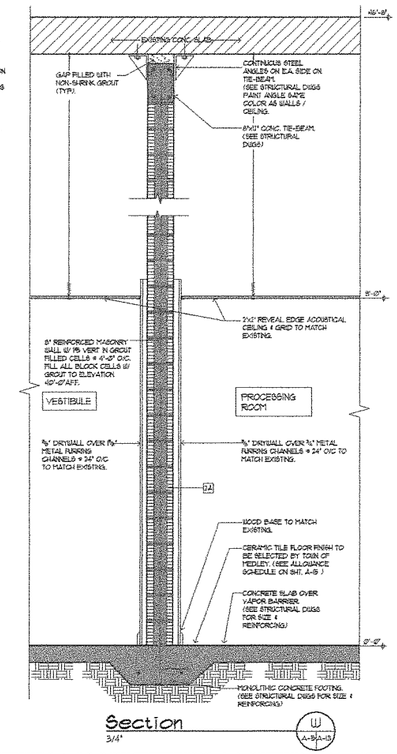


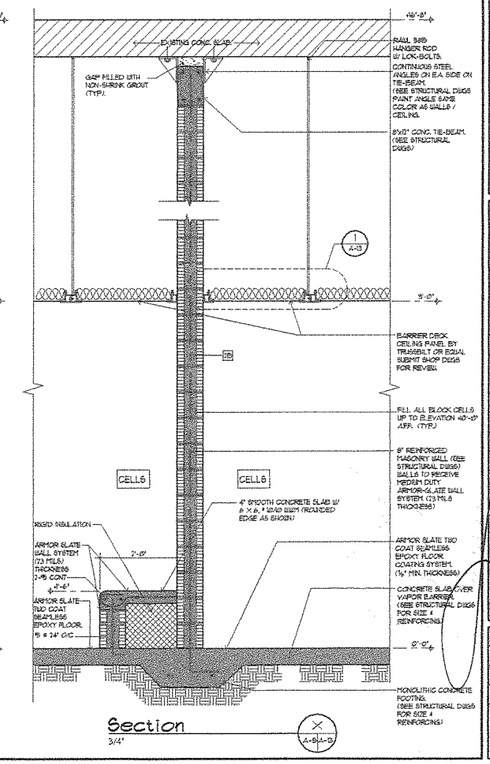












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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
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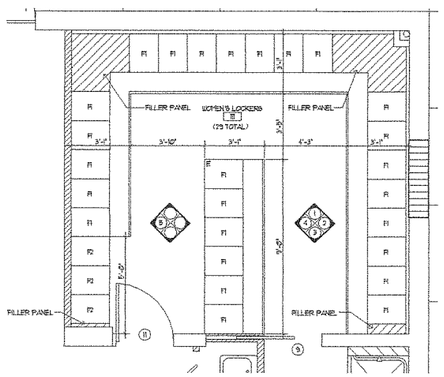
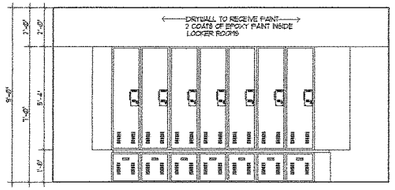
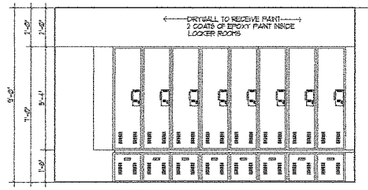


Women's Lockers Plan 3/8"



1 Elevation 3/8"
WOMEN'S



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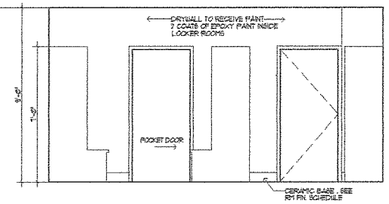
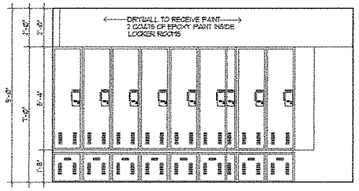
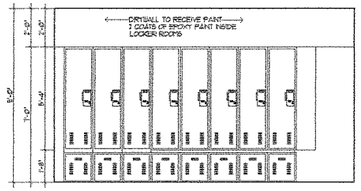
WOMEN'S



3 Elevation 3/8"
WOMEN'S



4 Elevation 3/8"
WOMEN'S



5 Elevation 3/8"
WOMEN'S

FREESTYLE PERSONAL LOCKERS

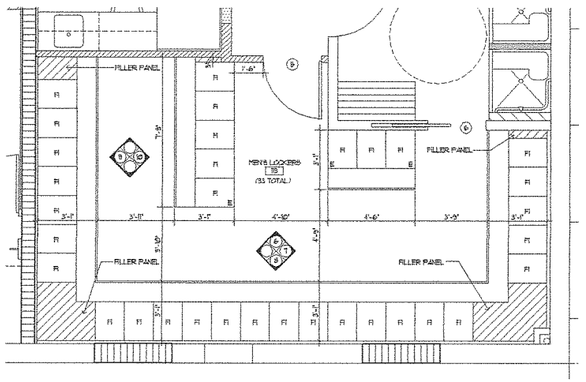
(SUBMIT SHOP DRAWINGS FOR REVIEW)

(33) SINGLE-TIER LOCKERS w/BENCH IN MEN'S LOCKER ROOM (F1)

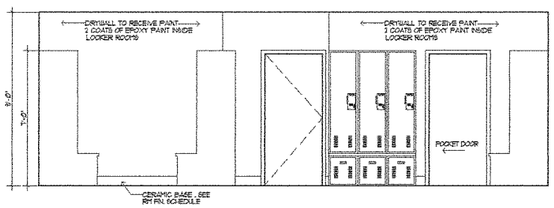
(28) SINGLE-TIER LOCKERS w/BENCH IN WOMEN'S LOCKER ROOM (F1)
(3) SINGLE-TIER LOCKERS IN WOMEN'S LOCKER ROOM (F2)

INCLUDES:
13" WIDE BENCH AS INDICATED ON PLAN w/DRAWER BELOW or
NO BENCH AS INDICATED ON PLAN w/DRAWER BELOW LOCKER
SHELF w/HANGING ROD
BOOT TRAY
HASP LOCK & NUMBER TAG
NO POWER
END PANELS INDICATED BY 'E' ON DRAWING
FLAT TOPS
FILLER PANELS AS NEED

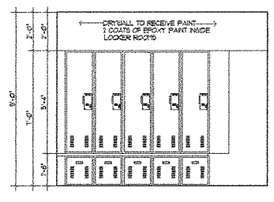
NOTE: TOWN OF MEDLEY WILL PROVIDE AND INSTALL ALL LOCKERS SHOWN FOR BOTH MENS AND WOMENS LOCKER ROOMS.
5% OF THE TOTAL LOCKERS SHALL COMPLY WITH FBC - ADA 308 (REACH RANGES) △



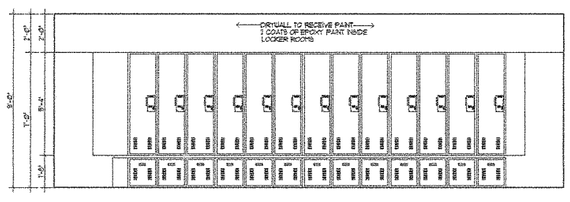
Men's Showers / Lockers Plan 3/8"



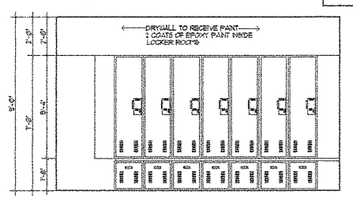
6 Elevation 3/8"
MEN'S



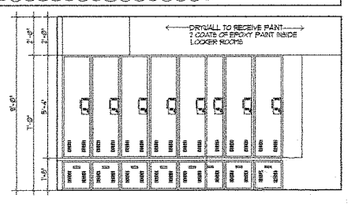
7 Elevation 3/8"
MEN'S



8 Elevation 3/8"
MEN'S



9 Elevation 3/8"
MEN'S



10 Elevation 3/8"
MEN'S

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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
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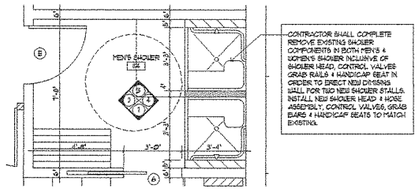
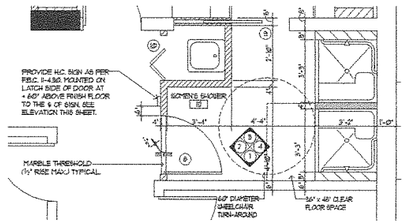
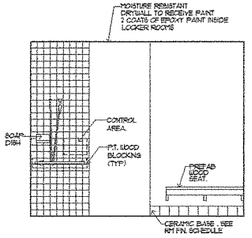


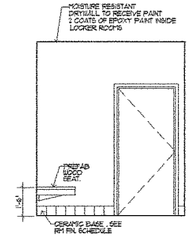
Men's Showers Plan 3/8'



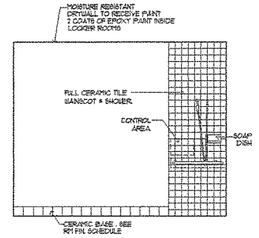
Women's Showers Plan 3/8'



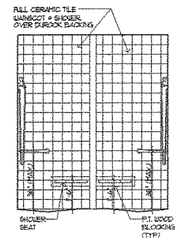
1 Elevation 3/8' MEN'S



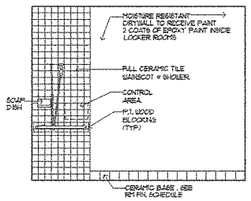
2 Elevation 3/8' MEN'S



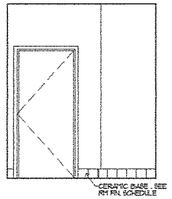
3 Elevation 3/8' MEN'S



4 Elevation 3/8' MEN'S



1 Elevation 3/8' WOMEN'S



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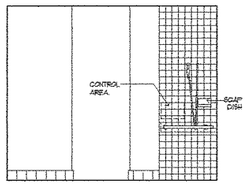
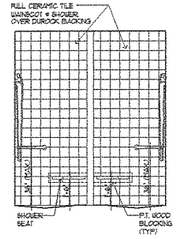


3 Elevation 3/8' WOMEN'S



4 Elevation 3/8' WOMEN'S

NOTE:
SHOWERS SHALL COMPLY WITH SECTIONS 609.3 & 609.5 FOR TRANSFER TYPE SHOWER COMPARTMENTS.
RE-USE EXISTING SHOWER HEAD VALVES & HOSE ASSEMBLY. NEW ASSEMBLY TO MATCH EXISTING. (TYP. OF TWO)

CABINETRY NOTES:
1. ALL CABINET CONSTRUCTION SHALL BE SOLID OAK W/ 2 COATS OF CLEAR FINISH STAIN FINISH AS SELECTED BY OWNER. SUBMIT SHOP DWGS FOR REVIEW AND APPROVAL.
CONTRACTOR SHALL SUBMIT TO OWNER MANUFACTURERS COLOR CHART TO OWNER FOR COLOR/PATTERN SELECTION PRIOR TO SUBMITTAL OF BID.
2. CONTRACTOR SHALL SUBMIT TO OWNER SAMPLES / CUT SHEETS OF ALL CABINETRY COMPONENTS (HINGES, HARDWARE, HANDLES, ETC.) FOR HIS SELECTION PRIOR TO SUBMITTAL OF BID.
3. BACKSPLASH & COUNTER TOPS SHALL BE ¾" GRANITE (SEE ALLOWANCES)

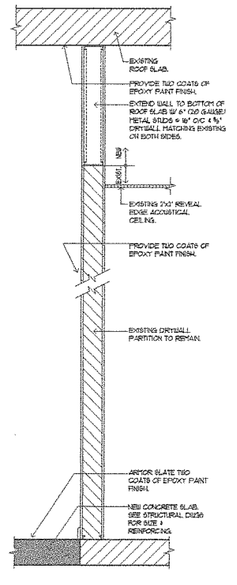
PARTITION SUPPORT NOTE:
ALL PARTITIONS SUPPORTING WALL-HUNG CABINETS OR PLUMBING FIXTURES SHALL COMPLY W/ F.B.C. 2318.3.5 & 2511.1.

F.B.C. 2318.3.5 - NON-BEARING PARTITIONS SUPPORTING WALL HUNG PLUMBING FIXTURES AND WALL CABINETS SHALL BE NOT LESS THAN 2"x4" @ 16" O.C. MAX. OR NOT LESS THAN 2"x6" @ 24" O.C. MAX.
F.B.C. 2318.3.5.1 - A MINIMUM 2"x4" HORIZONTAL WOOD MEMBER, SECURELY FASTENED TO NOT LESS THAN TWO EACH STUDS, SHALL BE INSTALLED FOR THE ATTACHMENT OF EACH WALL HUNG PLUMBING FIXTURE AND/OR CABINET.

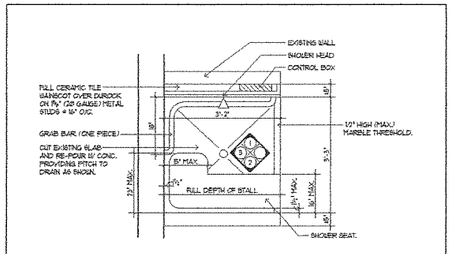
F.B.C. 2511.5.1 STEEL STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES SHALL BE DOUBLED OR NOT LESS THAN 20 GAUGE WITH A MINIMUM EFFECTIVE MOMENT OF INERTIA EQUAL TO 0.284 IN⁴ (1180 MM⁴).

F.B.C. 2511.5.2 EACH STUD SHALL BE RIGIDLY CONNECTED TOP AND BOTTOM TO PREVENT SIGNIFICANT END ROTATION OR DISPLACEMENT.

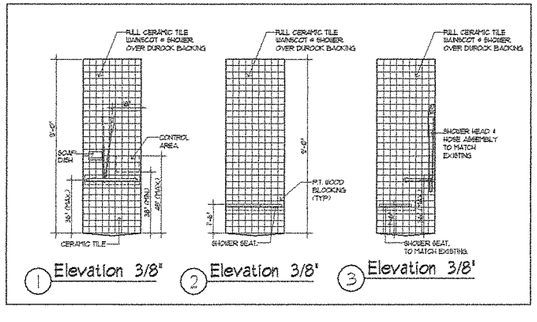
F.B.C. 2511.5.3 A HORIZONTAL MEMBER SECURELY FASTENED TO NOT LESS THAN TWO STUDS SHALL BE INSTALLED FOR THE ATTACHMENT OF EACH WALL HUNG PLUMBING FIXTURE.



Section
3/4'



H.C. Shower Floor Plan 3/4'
(TYPICAL)



1 Elevation 3/8' 2 Elevation 3/8' 3 Elevation 3/8'

H.C. SHOWER NOTE

(SHOWER SHALL COMPLY W/ F.B.C. 11-4.21)

THE STRUCTURAL STRENGTH OF GRAB BAR AND SHOWER SEAT SHALL MEET THE FOLLOWING SPECIFICATION (F.B.C. 11-4.26.3) :

1. BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 lbf (1334 N) SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.
2. SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 lbf (1334 N) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE GRAB BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESS SHALL BE TOTALED FOR THE CONSIDERED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE LOAD.
3. SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 lbf (1334 N) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS IN THE SMALLER ALLOWABLE LOAD.
4. TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 lbf (1334 N) PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 lbf (1334 N) SHALL BE LESS THAN THE ALLOWABLE TENSION LOAD BETWEEN THE FASTENER AND THE SUPPORTING STRUCTURE.
5. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

NOTE:
REMOVE CAREFULLY EXISTING SHOWER HEAD, VALVES & HOSE ASSEMBLY AND RELOCATE TO NEW WALL.
NEW SHOWER HEAD, VALVES & HOSE BAR ASSEMBLY TO MATCH EXISTING.

PLUMBING FIXTURE SCHEDULE

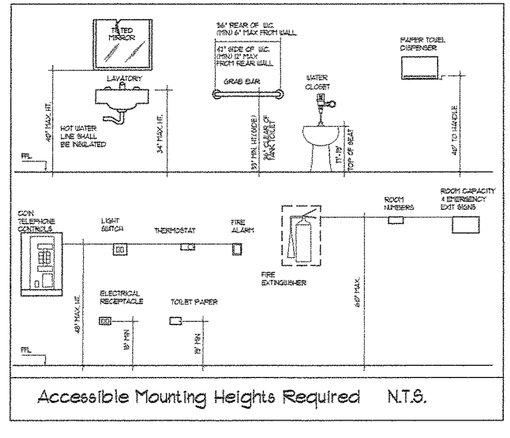
FIXTURE	MANUFACTURER / MODEL	
ELECTRIC WATER COOLER	ELKAY 14-LO	EZSTL8LC
UNDER-MOUNT SINK	ELKAY	ELUH2522566-GY STRAINER
FAUCET	ELKAY	LK5779727AS
MOP SERVICE SINK	ELM-MARTEK	4-271
SERVICE FAUCET	ELM-MARTEK	634-664
BUMPER GUARDS	ELM-MARTEK	61-401
WALL GUARD	DURA GUARD	613-424
H.C. STALL TOILET	PRIMAL-GUARD (HOSPA SERIES)	HOS PA - HO - 3 - PPP - 04 - HET 128 GPF - EVSPV
PRISON CELL TOILET /LAV.	PRIMAL-GUARD (MINI PA SERIES)	MIN PA - CT - 3 - PP - 04 - HET 128 GPF - EVSPV

NOTES:
1. SHOWER SEATS INFORMATION ON ALL FIXTURES FOR REVIEW AND APPROVAL PRIOR TO PURCHASING AND INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY F.B.C.A. / ADA AND MARB. INSTALLATION REQUIREMENTS.
2. SINKS SHALL COMPLY WITH F.B.C.A. 606 CLEAR FLOOR SPACE, HEIGHT, FAUCETS AND EXPOSED PIPES & SURFACES). CONTRACTOR TO SUBMIT SHOP DWGS / CUT SHEETS FOR PIPING INSULATION / PROTECTION COVERS AND SHALL COMPLY WITH MINIMUM FLAME SPREAD REQS.

NOTES:
1. MOUNTING HEIGHTS OF ALL ACCESSORIES SHALL COMPLY W/ HANDICAP REQUIREMENTS.
2. PROVIDE WOOD BLOCKING FOR THE FASTENING OF ALL ACCESSORIES TO WALLS.
3. ALL RESTROOM WALLS SHALL BE PAINTED W/ TWO COATS OF OIL BASE PAINT. COLOR TO BE SELECTED BY TENANT.
4. COLOR OF PLUMBING FIXTURES SHALL BE "WHITE" (STAINLESS STEEL IN HOLDING CELLS)
5. PROVIDE BOLT CAPS FOR ALL TOILETS.
6. ALL SUPPLY VALVES TO LAVATORIES AND WATER CLOSETS SHALL BE CHROME PLATED WITH ESCUTCHEON PLATES AND MOUNTED ABOVE BASE.
7. PROVIDE LEVER OPERATED FAUCETS AT ALL LAVATORIES, COMPLY W/ HANDICAP STANDARDS.
8. ALL GALV. METAL STUDS IN RESTROOM WALLS SHALL BE 20 GAUGE.

HANDICAP ACCESSIBILITY AND GENERAL NOTES:

1. THE DESIGN OF SPACES DEPICTED IN THESE DRAWINGS COMPLIES WITH THE ACCESSIBILITY REQUIREMENTS OF THE FLORIDA BUILDING CODE 2010 EDITION.
2. BUILDING SHALL INCLUDE AN ACCESSIBLE ROUTE FOR THE PUBLIC FROM ACCESSIBLE PARKING SPACES TO ENTRY DOORS AND INTO THE BUILDING. ALL PUBLIC AREAS ARE ACCESSIBLE AND HAVE NO LEVEL CHANGES GREATER THAN ½".
3. ALL DOORS IN ACCESSIBLE AREAS SHALL PROVIDE A MINIMUM CLEAR OPENING OF 34" (MIN DOOR IS OPEN 90 DEGREES, (34 INCH DOOR PROVIDES MINIMUM ACCEPTABLE OPENING)
4. DOOR HARDWARE SHALL HAVE A SHAPE EASY TO GRASP WITHOUT TIGHT GRASPING, PINCHING OR TWISTING. ACCEPTABLE HARDWARE MECHANISMS ARE: LEVER, HANDLES, PUSH TYPE MECHANISMS AND U-SHAPED HANDLES. DOOR HARDWARE SHALL BE MOUNTED NO HIGHER THAN 48-INCHES AFF.
5. RESTROOMS SHALL BE PROVIDED WITH GRAB BARS AROUND WATER CLOSETS, INSTALLED ACCORDING TO THESE DRAWINGS. WATER CLOSETS SHALL BE PLACED SO AS TO ALLOW A GRAB BAR TO BE INSTALLED ABOVE AND ON ONE SIDE OF THE FIXTURE WITH A MINIMUM CLEARANCE OF 18-INCHES FROM THE CENTER LINE OF THE WATER CLOSET TO ADJACENT WALL OR FIXTURES. CENTER OF GRAB BARS SHALL BE MOUNTED AT 33-INCHES TO 36-INCHES AFF. WATER CLOSETS SHALL BE 30-INCHES IN DEPTH AND 17-INCHES TO 19-INCHES IN HEIGHT AFF, MEASURED PERPENDICULAR TO THE TOP OF THE SEAT. LAVATORIES SHALL BE A MINIMUM OF 17-INCHES DEEP AND 15-INCHES WIDE. LAVATORIES SHALL BE PLACED WITH A MINIMUM OF 29½-INCHES BETWEEN LAVATORY AND ADJACENT WALL FIXTURE RIM SHALL OCCUR AT A MAXIMUM HEIGHT OF 34-INCHES AFF. FAUCETS SHALL BE LEVER-OPERATED (COMPLY WITH HANDICAP STANDARDS). EXPOSED HOT WATER PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
6. COLOR OF PLUMBING FIXTURES SHALL BE "WHITE"
7. PROVIDE BOLT CAPS FOR ALL WATER CLOSETS.
8. ALL SUPPLY VALVES TO LAVATORIES AND WATER CLOSETS SHALL BE CHROME PLATED WITH ESCUTCHEON MOUNTED ABOVE WALL BASE).
9. ALL METAL STUDS AT RESTROOM WALLS SHALL BE 20-GAUGE. METAL STUDS SUPPORTING WALL-HUNG PLUMBING FIXTURES SHALL BE RIGIDLY CONNECTED AT TOP AND BOTTOM TO PREVENT SIGNIFICANT ROTATION OR DISPLACEMENT.
10. PROVIDE WOOD BLOCKING FOR THE ATTACHMENT OF ALL ACCESSORIES TO WALLS.
11. MOUNTING HEIGHTS OF ALL ACCESSORIES SHALL COMPLY W/ HANDICAP REQUIREMENTS.
12. ALL RESTROOM WALLS SHALL RECEIVE TWO COATS OF EPOXY PAINT. COLOR AS SELECTED BY TENANT.
13. PROVIDE RESTROOM TACTILE SIGNAGE AT EACH RESTROOM BEARING THE HANDICAP SYMBOL. SIGNAGE MODEL # ADAU SS-4 MANUFACTURED BY THE SOUTH BELL COMPANY OR EQUAL. COLOR TO BE "BEIGE" WEATHERED GRAY WITH WHITE CORE. LETTERING STYLE : HELVETICA REGULAR.
14. DRINKING FOUNTAINS, WALL AND POST-MOUNTED CANTILEVERED UNITS, SHALL HAVE A CLEAR KNEE SPACE BETWEEN THE BOTTOM OF THE APRON AND THE FLOOR OF AT LEAST 27-INCHES HIGH, 30-INCHES WIDE AND 17-INCHES TO 19-INCHES DEEP WITH A MINIMUM CLEAR FLOOR SPACE OF 30-INCHES BY 48-INCHES. THE SPOUT SHALL BE LOCATED AT THE FRONT OF THE UNIT AND OCCUR NO HIGHER THAN 36-INCHES AFF. MEASURED FROM THE FINISHED FLOOR TO THE SPOUT OUTLET AND SHALL PROVIDE A MINIMUM 4-INCH HIGH WATER FLOW.
15. LIGHT SWITCHES, ELECTRICAL RECEPTACLES AND OTHER CONTROLS SHALL BE LOCATED WITH OPERABLE COMPONENTS AT 48-INCHES MAXIMUM AND 15-INCHES MINIMUM AFF.
16. STAINLESS STEEL KITCHEN SINK SHALL BE MAX. 6½" DEEP WITH LEVER TYPE FAUCET ABLE TO OPERATE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBF.



Accessible Mounting Heights Required N.T.S.

INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-9541

Rodriguez Pereira Architects, Inc.
Architecture Planning& Urban Design Space Planning Interior Design
8000 NW 7th Street - Suite 103 - Miami, FL 33126
Phone: (305) 592-8045 FAX: (305) 592-5755
WWW.RODRIGUEZPEREIRA.COM | Corp. Lic. # AA-C001984

REVISIONS	BY
1 4-30-14	

5-20-14

THESE PLANS ARE FOR CONSTRUCTION PURPOSES ONLY WHEN SIGNED, SEALED & DATED. ALL REVISIONS MUST BE APPROVED & INCORPORATED BY THE ARCHITECT BEFORE IMPLEMENTED. ANY FIELD CHANGES

Date	3-27-14
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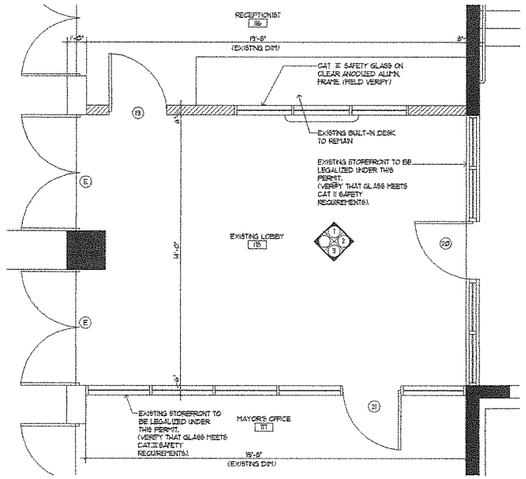
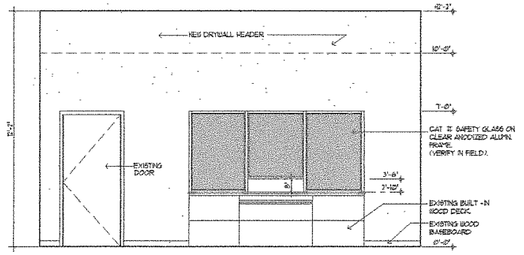
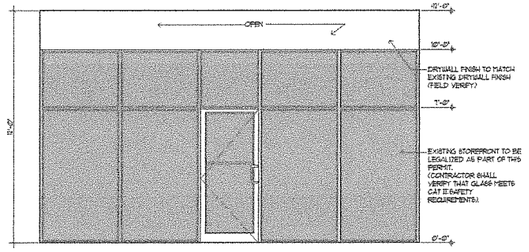
Drawn	
Job	13-032
Sheet	A-14.1
Of	Sheets



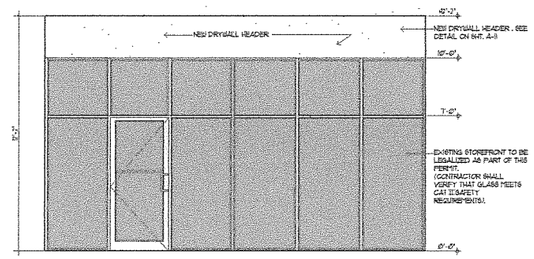
Existing Lobby / Receptionist Plan 3/8"



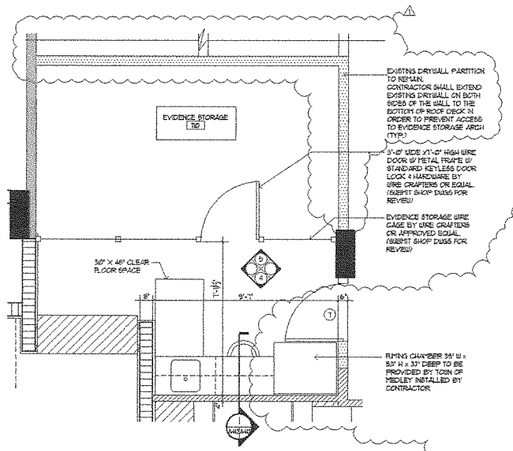
1 Elevation 3/8"
LOBBY / RECEPTIONIST



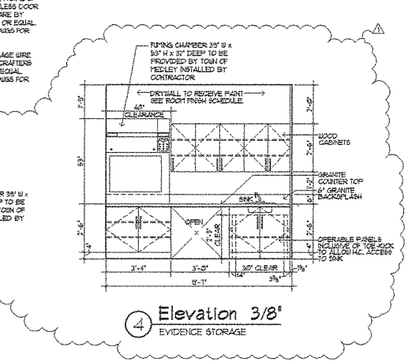
2 Elevation 3/8"
LOBBY



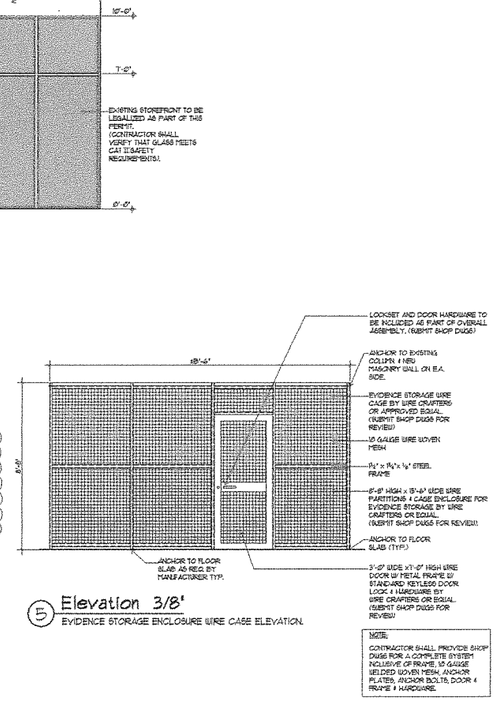
3 Elevation 3/8"
LOBBY / MAYOR'S



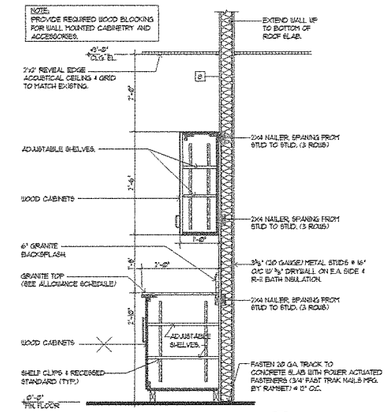
Evidence Storage Millwork Plan 3/8"



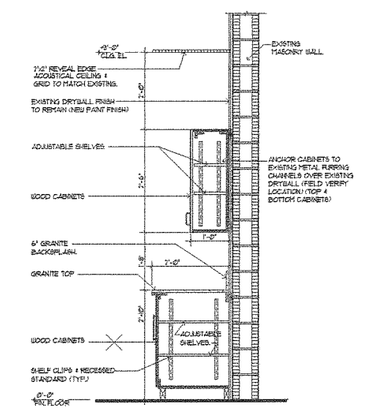
4 Elevation 3/8"
EVIDENCE STORAGE



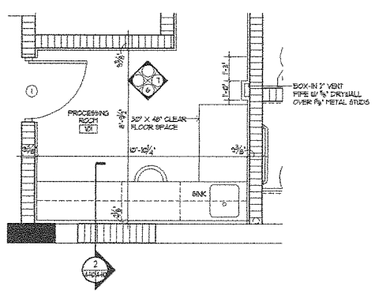
5 Elevation 3/8"
EVIDENCE STORAGE ENCLOSURE WIRE CASE ELEVATION



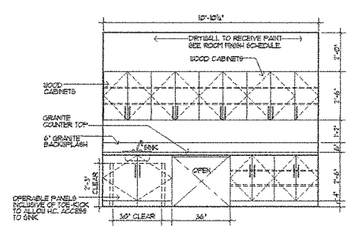
Section
3/4"
1 A-M2A-M2



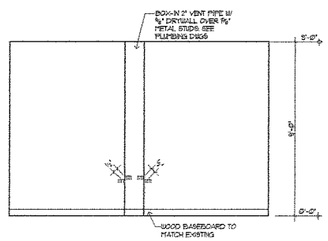
Section
3/4"
2 A-M2A-M2



Processing Room Floor Millwork Plan 3/8"



6 Elevation 3/8"
PROCESSING ROOM



7 Elevation 3/8"

Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001894

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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-9541

REVISIONS	BY
1 4-30-14	

4-30-14

NOTICE FOR CONSTRUCTION: UNLESS SIGNED & SEALED BY THE BUILDING OFFICIAL, THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION AND ARE NOT ACCEPTABLE FOR PERMIT ISSUE

Date	3-27-14
Scale	
Drawn	
Job	13-032
Sheet	A-14.2
Of	Sheets

ALLOWANCES:

NUMBER	MATERIAL	ALLOWANCE
1	CERAMIC TILE	$ 12.50 / SF. INSTALLED
2	CARPET	$ 36.00 / S.Y. INSTALLED
3	GRANITE TOPS	$ 35.00 / S.F. INSTALLED

NOTES:

1. CONTRACTOR SHALL SUBMIT FLOORING SAMPLES OF ALL MATERIALS FOR OWNER'S SELECTION WITHIN SPECIFIED ALLOWANCE BUDGET.
2. CARPET TO MATCH EXISTING.
3. CERAMIC TILE TO MATCH EXISTING

Egress Doors Push to Exit Note

DOORS SHALL BE ARRANGED TO UNLOCK IN THE DIRECTION OF EGRESS FROM A MANUAL RELEASE DEVICE LOCATED 40in TO 48in. (102 cm TO 122 cm) VERTICALLY ABOVE THE FLOOR AND WITHIN 5 FT. (1.5 m) OF THE SECURE DOORS. THE MANUAL RELEASE DEVICE SHALL BE READILY ACCESSIBLE AND CLEARLY IDENTIFIED BY A SIGN THAT READS AS FOLLOWS:

PUSH TO EXIT
RED LIGHTS (2" HIGH)

DOOR NOTES

1- DOOR AND FRAMES WILL BE REINFORCED FOR SURFACE MOUNTED HARDWARE AS REQUIRED. HARDWARE WILL BE DRILLED AND TAPPED AT THE FACTORY. (MATCH EXISTING HARDWARE)

2- ALL HOLLOW METAL DOORS AND FRAMES WILL BE PHOSPHATIZED AND SHALL RECEIVE ONE COAT OF BAKED-ON PRIMER PAINT AT FACTORY. DOORS TO RECEIVE ENAMEL PAINT FINISH. COLOR TO MATCH EXISTING FRAMES EXTERIOR DOORS, COLOR TO MATCH ADJACENT WALL SURFACE.

3- ALL HARDWARE LOCATIONS ON THE DOOR AND FRAME ARE TO BE STANDARD LOCATION FOR HARDWARE.

4- ALL DOORS AND HARDWARE SHALL COMPLY WITH HANDICAP REQUIREMENTS (1in LEVER HANDLES)

5- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS / PRODUCT DATA ON ALL DOORS AND FRAMES.

6- PROVIDE 2 x 4 WOOD BLOCKING AROUND PERIMETER OF ALL DOOR OPENINGS. (SEE P.T. BLOCK ON ALL EXTERIOR DOORS)

7- PROVIDE UNDERCUT ON DOORS INDICATED ON MECHANICAL DRAWINGS.

8- ALL WOOD DOORS TO BE SOLID CORE FLUSH TYPE STAIN GRADE QUALITY FINISH TO MATCH EXISTING DOORS (FIELD VERIFY)

9- PROVIDE DOOR HARDWARE IN ACCORDANCE WITH HARDWARE SCHEDULE AND GROUPS LISTED IN SPECIFICATIONS. (HARDWARE FOR NEW DOORS TO MATCH EXISTING HARDWARE)

10- CONTRACTOR SHALL SUBMIT FULL HARDWARE SCHEDULE, GROUPS, & PRODUCT DATA FOR ARCHITECTS APPROVAL.

Floor, Walls & Ceiling Finish Specifications For Rooms# 102, 103 & 104

FLOOR: ARMOR SLATE TWO COAT SEAMLESS EPOXY FLOOR COATING ¼" MINIMUM THICKNESS W/ COVE BASE.

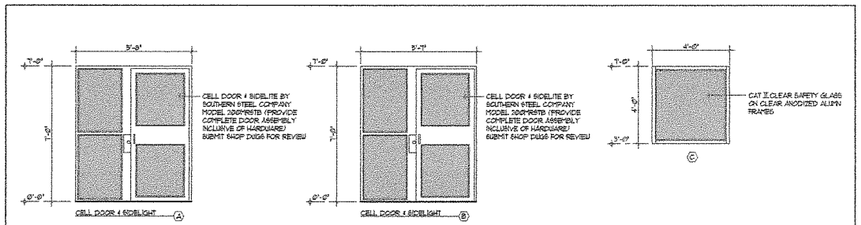
WALLS: HEAVY DUTY ARMOR-GLAZE WALL SYSTEM (13 MILS THICKNESS) APPLIED OVER CONCRETE BLOCK.

Floor, Walls & Ceiling Finish Specifications For Rooms# 106, 107, 108 & 109

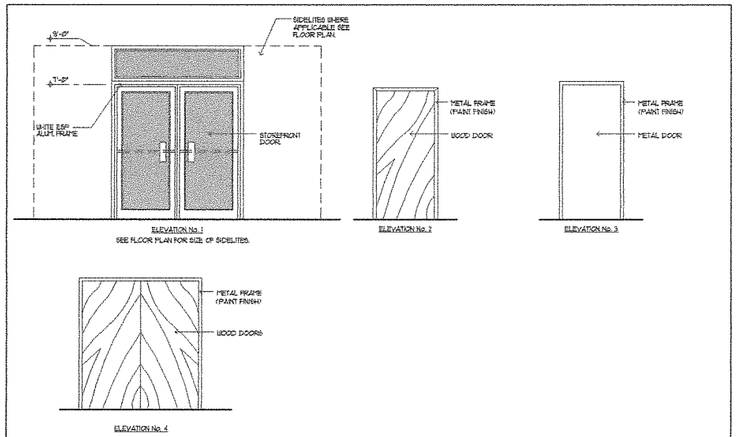
FLOOR: ARMOR SLATE TWO COAT SEAMLESS EPOXY FLOOR COATING ¼" MINIMUM THICKNESS W/ COVE BASE.

WALLS: TWO COATS OF EPOXY PAINT OVER SEALER (COLOR TO BE SELECTED BY TOPA)

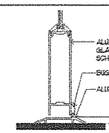
CEILING: PATCH & REPAIR EXISTING ROOF SLAB PRIOR TO RECEIVING TWO COATS OF INTERIOR LATEX PAINT OVER SEALER.



WINDOW Elevations 3/8"

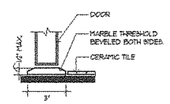


Door Elevations 3/8"



Sill Detail No. 1
3"=1'-0"

Sill Detail No. 2
3"=1'-0"



Sill Detail No. 3
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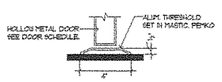

Sill Detail No. 4
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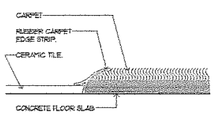
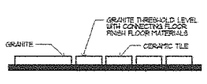


Sill Detail No. 5
N.T.S.



Sill Detail No. 6
N.T.S.

ROOM FINISH SCHEDULE

NUMBER	NAME	FLOOR	BASE	WALLS	CEILING	CEILING HEIGHT	WAINSCOT	REMARKS
Ground Floor								
100	VESTIBULE	CERAMIC TILE	WOOD	DRYWALL	2'x2' ACOUSTICAL	9'-0"		PATCH & REPAIR EXISTING DRYWALL SURFACES PRIOR TO RECEIVING NEW PAINT FINISH.
101	PROCESSING ROOM	CERAMIC TILE	WOOD	DRYWALL	2'x2' ACOUSTICAL	9'-0"		PATCH & REPAIR EXISTING DRYWALL SURFACES PRIOR TO RECEIVING NEW PAINT FINISH.
102	INTERVIEW	CONCRETE	INTEGRATED W/ FLOOR FINISH	EXPOSED BLOCK	PANEL CEILING BY TRIMBOARD	9'-0"		SEE FLOOR AND WALL SPECIFICATION THIS SHEET.
103	CELL #1	CONCRETE	INTEGRATED W/ FLOOR FINISH	EXPOSED BLOCK	PANEL CEILING BY TRIMBOARD	9'-0"		SEE FLOOR AND WALL SPECIFICATION THIS SHEET.
104	CELL #2	CONCRETE	INTEGRATED W/ FLOOR FINISH	EXPOSED BLOCK	PANEL CEILING BY TRIMBOARD	9'-0"		SEE FLOOR AND WALL SPECIFICATION THIS SHEET.
105	EVIDENCE LOCKERS	CERAMIC TILE	WOOD	DRYWALL	----------	9'-0"		SEE FLOOR AND WALL SPECIFICATION THIS SHEET.
106	EQUIPMENT STORAGE	CONCRETE	INTEGRATED COVE BASE	EXPOSED BLOCK	EXPOSED	48'-0"		PROVIDE TWO COATS OF EPOXY PAINT FINISH ON EXPOSED BLOCK WALLS. (SEE FLOOR & WALL SPECIFICATIONS)
107	VEHICLE SUPPLY	CONCRETE	INTEGRATED COVE BASE	EXPOSED BLOCK	EXPOSED	48'-0"		PROVIDE TWO COATS OF EPOXY PAINT FINISH ON EXPOSED BLOCK WALLS. (SEE FLOOR & WALL SPECIFICATIONS)
108	CPR STORAGE	CONCRETE	INTEGRATED COVE BASE	EXPOSED BLOCK	EXPOSED	48'-0"		PROVIDE TWO COATS OF EPOXY PAINT FINISH ON EXPOSED BLOCK WALLS. (SEE FLOOR & WALL SPECIFICATIONS)
109	ARMORY	CONCRETE	INTEGRATED COVE BASE	EXPOSED BLOCK	EXPOSED	48'-0"		PROVIDE TWO COATS OF EPOXY PAINT FINISH ON EXPOSED BLOCK WALLS. (SEE FLOOR & WALL SPECIFICATIONS)
109-A	COMMUNICATION CONTROL ROOM	CERAMIC TILE	WOOD	DRYWALL	2'x2' ACOUSTICAL	9'-0"	———	EXISTING 4 NEW DRYWALL SURFACE SHALL RECEIVE TWO COATS OF INTERIOR PAINT FINISH
109-B	HALLWAY	CERAMIC TILE	WOOD	DRYWALL	2'x2' ACOUSTICAL	9'-0"	———	EXISTING 4 NEW DRYWALL SURFACE SHALL RECEIVE TWO COATS OF INTERIOR PAINT FINISH
110	EVIDENCE STORAGE	CERAMIC TILE	WOOD	DRYWALL	2' X 2' ACOUSTICAL	9'-0"		EXISTING WALLS SHALL RECEIVE NEW PAINT FINISH ONCE NEW WALLS ARE ERECTED
11	WOMEN'S LOCKERS	CERAMIC TILE	CERAMIC TILE	DRYWALL	2'x2' ACOUSTICAL	9'-0"		PROVIDE TWO COATS OF EPOXY PAINT FINISH ON EXPOSED BLOCK WALLS.
12	WOMEN'S SHOWERS	CERAMIC TILE	CERAMIC TILE	DUROCK	EXISTING DRYWALL	9'-0"	FILL	CERAMIC TILE FINISH ON NEW SHOWER ENCLOSURE OVER DUROCK
13	MEN'S LOCKERS	CERAMIC TILE	CERAMIC TILE	DRYWALL	2'x2' ACOUSTICAL	9'-0"		PROVIDE TWO COATS OF EPOXY PAINT FINISH ON EXPOSED BLOCK WALLS.
14	MEN'S SHOWERS	CERAMIC TILE	CERAMIC TILE	DUROCK	EXISTING DRYWALL	9'-0"	FILL	CERAMIC TILE FINISH ON NEW SHOWER ENCLOSURE OVER DUROCK
15	MOP SINK	CERAMIC TILE	CERAMIC TILE	MOISTURE BOARD	2'x2' ACOUSTICAL	9'-0"	5'-0"	EPOXY PAINT FINISH ON WALLS ABOVE 5'-0" CER. TILE WAINSCOT
16	RECEPTIONIST	EXISTING TILE	WOOD	DRYWALL	2'x2' ACOUSTICAL	10'-1"	———	EXISTING WALLS SHALL RECEIVE NEW PAINT FINISH ONCE NEW DRYWALL HEADER IS COMPLETED.
17	MAJORS OFFICE	EXISTING TILE	EXISTING	DRYWALL	2'x2' ACOUSTICAL	10'-1"	———	EXISTING WALLS SHALL RECEIVE NEW PAINT FINISH ONCE NEW DRYWALL HEADER IS COMPLETED.
18	LOBBY	EXISTING TILE	WOOD	DRYWALL	2'x2' ACOUSTICAL	11'-1"	———	EXISTING WALLS SHALL RECEIVE NEW PAINT FINISH ONCE NEW DRYWALL HEADER IS COMPLETED.
Second Floor								
200	TRAINING ROOM	CARPET	WOOD	DRYWALL	2'x2' ACOUSTICAL	10'-1"	———	EXISTING WALLS TO BE PRIMED PRIOR TO RECEIVING TWO COATS OF EPOXY PAINT FINISH.
201	CLOSET	CARPET	WOOD	DRYWALL	2'x2' ACOUSTICAL	10'-1"	———	WALLS SHALL BE PRIMED PRIOR TO RECEIVING TWO COATS OF PAINT FINISH.
202	COFFEE AREA	CERAMIC TILE	WOOD	DRYWALL	2'x2' ACOUSTICAL	10'-1"	———	PROVIDE 4'-0" OF CERAMIC TILE BY WIDTH OF CABINET IN FRONT OF CABINET AREA.
Third Floor								
300	ROLL-CALL	CERAMIC TILE	WOOD	DRYWALL	EXISTING	VARIES		WALLS SHALL BE PRIMED PRIOR TO RECEIVING TWO COATS OF INTERIOR LATEX PRINT FINISH.
301	SERVER ROOM	EXISTING	EXISTING	EXISTING	EXISTING	9'-0"		WALLS SHALL BE PRIMED PRIOR TO RECEIVING TWO COATS OF INTERIOR LATEX PRINT FINISH.
302	SERGEANTS	CERAMIC TILE	WOOD	DRYWALL	EXISTING	VARIES		WALLS SHALL BE PRIMED PRIOR TO RECEIVING TWO COATS OF INTERIOR LATEX PRINT FINISH.
303	T-WORK ROOM	CARPET	WOOD	DRYWALL	2x2 ACOUSTICAL	10'-0"		WALLS SHALL BE PRIMED PRIOR TO RECEIVING TWO COATS OF INTERIOR LATEX PRINT FINISH.
304	FILES	EXISTING	EXISTING	EXISTING	EXISTING	9'-0"		WALLS SHALL BE PRIMED PRIOR TO RECEIVING TWO COATS OF INTERIOR LATEX PRINT FINISH.
305	COMMUNICATION	EXISTING	EXISTING	EXISTING	EXISTING	VARIES		WALLS SHALL BE PRIMED PRIOR TO RECEIVING TWO COATS OF INTERIOR LATEX PRINT FINISH.
306	STORAGE	EXISTING	WOOD	DRYWALL	2x2 ACOUSTICAL	9'-0"		WALLS SHALL BE PRIMED PRIOR TO RECEIVING TWO COATS OF INTERIOR LATEX PRINT FINISH.
307	IT ROOM	EXISTING	WOOD	DRYWALL	2x2 ACOUSTICAL	10'-0"		WALLS SHALL BE PRIMED PRIOR TO RECEIVING TWO COATS OF INTERIOR LATEX PRINT FINISH.
308	DETECTIVES	CARPET	WOOD	DRYWALL	2x2 ACOUSTICAL	10'-0"		WALLS SHALL BE PRIMED PRIOR TO RECEIVING TWO COATS OF INTERIOR LATEX PRINT FINISH.

NOTE: 1- ALL EXPOSED MASONRY WALLS SHALL HAVE SMOOTH TOOLED JOINTS PRIOR TO RECEIVING MEDIUM DUTY ARMOR-GLAZE WALL SYSTEM. FLOOR SLAB SHALL BE PREPARED AS REQ. BY ARMOR SLATE PRIOR TO RECEIVING TWO COAT SEAMLESS EPOXY FLOOR COATING W/ INTEGRATED COVE BASE.

2- CONTRACTOR SHALL COORDINATE W/ SECURITY CONTRACTOR THE EXACT LOCATION OF ALL CARD READER DEVICES, SECURITY CAMERAS PUSH BUTTON RELEASE FOR DOORS & ALL OTHER SECURITY COMPONENTS REQUIRING ELECTRICAL CONDUITS & WIRING.

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	THICKNESS	H.C.	S.C.	DOOR DESCRIPTION	MATERIAL	DOOR FINISH	FRAME	FRAME FINISH	DOOR ELEV.	SILL TYP.	LOCK: KEY	LOCK: PRIVACY	LOCK: PASSAGE	REMARKS	CARD ACCESS READER
Ground Floor																	
1	3'-0"	7'-0"	2"	—	—	SWING	METAL	PAINT	METAL	PAINT	3					SEE SPECIFICATION SHEET FOR POLICE DEPT. HOLDING CELL SHEETS A-16 THRU A-16.2	YES
1A	3'-0"	7'-0"	2"	—	—	SWING	METAL	PAINT	METAL	PAINT	3					SEE SPECIFICATION SHEET FOR POLICE DEPT. HOLDING CELL SHEETS A-16 THRU A-16.2	YES
1B	3'-0"	7'-0"	PR'	—	—	SWING	METAL	PAINT	METAL	PAINT	3					SEE SPECIFICATIONS ON SHEETS A-16 THRU A-16.2	YES
1C	10'-0"	10'-0"		—	—	ELECTRIC ROLL-UP DOOR	GALV. STEEL	GALV. STEEL	GALV. STEEL	GALV. STEEL						BOX PATTERN SLEET ROLLING GATE W/ INTERLOCKING SLATS (PROVIDE W/ REMOTE CONTROL DOOR OPENER)	
2	3'-0"	7'-0"	2"	—	—	SWING	METAL	PAINT	METAL	PAINT	3					SEE SPECIFICATION SHEET FOR POLICE DEPT. HOLDING CELL	
3	3'-0"	7'-0"	2"			SWING	SECURITY GLASS	SEE SPECS	METAL	PAINT	B					SEE SPECIFICATION SHEET FOR POLICE DEPT HOLDING CELL	
4	3'-0"	7'-0"	2"			SWING	SECURITY GLASS	SEE SPECS	METAL	PAINT	B					SEE SPECIFICATION SHEET FOR POLICE DEPT HOLDING CELL	
5	3'-0"	7'-0"	PR'		/	SWING	WOOD	STAIN	METAL	PAINT	2	—				PROVIDE DOOR CLOSER. (DOOR FINISH TO MATCH EXISTING DOORS)	
6	3'-0"	7'-0"	PR'	—	—	POCKET DOOR	WOOD	STAIN	---	---	---	---	---	---	---	DOOR STAIN COLOR & FINISH TO MATCH EXISTING DOORS.	
7	3'-0"	7'-0"	PR'		/	SWING	WOOD	STAIN	METAL	PAINT	2	—				DOOR FINISH TO MATCH EXISTING DOORS.	YES
8	3'-0"	7'-0"	PR'		/	SWING	WOOD	STAIN	METAL	PAINT	2	S				PROVIDE DOOR CLOSER. (DOOR FINISH TO MATCH EXISTING DOORS)	
9	3'-0"	7'-0"	PR'	—	—	POCKET DOOR	WOOD	STAIN	---	---	---	---	---	---	---	DOOR COLOR & FINISH TO MATCH EXISTING WOOD DOORS.	
10	2'-6"	7'-0"	1"	—	—	BI-FOLD	WOOD	STAIN	---	---	---	---	---	---	---	DOOR STAIN COLOR & FINISH TO MATCH EXISTING DOORS.	
11	3'-0"	7'-0"	PR'		/	SWING	WOOD	STAIN	METAL	PAINT	2	—				PROVIDE DOOR CLOSER. (DOOR FINISH TO MATCH EXISTING DOORS)	
12	3'-0"	7'-0"	PR'		/	SWING	WOOD	STAIN	METAL	PAINT	2	—				DOOR FINISH TO MATCH EXISTING DOORS.	
13	3'-0"	7'-0"	PR'	—	—	SWING	METAL	PAINT	METAL	PAINT	3	—				DOOR 4 FRAME SHALL BE 14 GAUGE METAL (PROVIDE DOOR CLOSER)	YES
14	3'-0"	7'-0"	PR'		/	SWING	WOOD	STAIN	METAL	PAINT	2	2				DOOR FINISH TO MATCH EXISTING DOORS.	YES
15	3'-0"	7'-0"	PR'	—	—	SWING	METAL	PAINT	METAL	PAINT	3	2				PROVIDE DOOR CLOSER. (DOOR 4 FRAME SHALL BE 14 GAUGE)	YES
16	4'-0"	7'-0"	PR'	—	—	SWING	METAL	PAINT	METAL	PAINT	3	2				PROVIDE DOOR CLOSER. (DOOR 4 FRAME SHALL BE 14 GAUGE)	YES
17	3'-0"	7'-0"	PR'	—	—	SWING	METAL	PAINT	METAL	PAINT	3	2				PROVIDE DOOR CLOSER. (DOOR 4 FRAME SHALL BE 14 GAUGE)	YES
18	4'-0"	7'-0"	PR'	—	—	SWING	METAL	PAINT	METAL	PAINT	3	2				DOOR 4 FRAME SHALL BE 14 GAUGE METAL (PROVIDE DOOR CLOSER)	YES
19	3'-0"	7'-0"	PR'		/	SWING	WOOD	STAIN	METAL	PAINT	2	—				EXISTING DOOR TO REMAIN.	YES
20	3'-0"	7'-0"	PR'	—	—	SWING	CAT II SAFETY GLASS	CLEAR GLASS	ALUM.	CLEAR ANODIZED	1	—				EXISTING DOOR TO REMAIN.	
21	3'-0"	7'-0"	PR'	—	—	SWING	CAT II SAFETY GLASS	CLEAR GLASS	ALUM.	CLEAR ANODIZED	1	—				EXISTING DOOR W/ MAGNETIC LATCH	
22	3'-0"	7'-0"	PR'	—	—	SWING	CAT II SAFETY GLASS	CLEAR GLASS	ALUM.	CLEAR ANODIZED	1	—				EXISTING DOOR TO REMAIN.	YES
Second fl.																	
23	2'-3"-0"	7'-0"	PR'		/	SWING	WOOD	STAIN	METAL	PAINT	4	—				PROVIDE DOOR CLOSER. (DOOR FINISH TO MATCH EXISTING DOORS)	YES
24	2'-3"-0"	7'-0"	PR'		/	SWING	WOOD	STAIN	METAL	PAINT	4	—				PROVIDE DOOR CLOSER. (DOOR FINISH TO MATCH EXISTING DOORS)	YES
25	2'-1"-0"	10'-0"	PR'		/	HINGED BIFOLD	WOOD	STAIN	---	---	---	---	---	---	---	PROVIDE WOOD CASING AROUND DOOR OPENINGS NOTCH CONFIGURATION OF OVERHEAD TRACK & EACH DOOR LEAF HEADER TO ALLOW DOORS TO CLOSE	
Third Floor																	
26	3'-0"	7'-0"	PR'		/	SWING	WOOD	STAIN	METAL	PAINT	2	—				PROVIDE DOOR CLOSER. (DOOR FINISH TO MATCH EXISTING DOORS)	YES
27	3'-0"	7'-0"	PR'		/	SWING	WOOD	STAIN	METAL	PAINT	2	—				PROVIDE DOOR CLOSER. (DOOR FINISH TO MATCH EXISTING DOORS)	YES
28	2'-3"-0"	7'-0"	PR'		/	SWING	WOOD	STAIN	METAL	PAINT	2	—				PROVIDE DOOR CLOSER. (DOOR FINISH TO MATCH EXISTING DOORS)	

NOTE: 1- ALL NEW WOOD DOORS SHALL BE SOLID CORE BIRCH DOORS (STAIN GRADE) WITH TWO COATS OF CLEAR SEALER MATCH SAME STAIN COLOR AS EXISTING DOORS)

2- NEW BASEBOARD SHALL MATCH PROFILE STAIN COLOR & FINISH OF EXISTING WOOD BASEBOARD.

3- HARDWARE FOR ALL NEW DOORS SHALL MATCH EXISTING (MANUFACTURER, FINISH & MODEL) FIELD VERIFY.

4- DOORS WITH MAGNETIC LATCHES & CARD READERS SHALL HAVE FRAMES PRE-DRILLED FOR WIRING) MAGNETIC LATCHES & CARD READERS TO MATCH EXISTING.

5- CONTRACTOR SHALL PROVIDE ROOM NAME (SIGNAGE PLAQUE) AT EACH ONE OF THE NEW DOORS. (MATCH COLOR, STYLE & SIZE OF EXISTING)

Architecture
Planning&
Urban Design
Space Planning
Interior Design
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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-9541

REVISIONS	BY
1 5-16-14	

5-20-14
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Job 13-032
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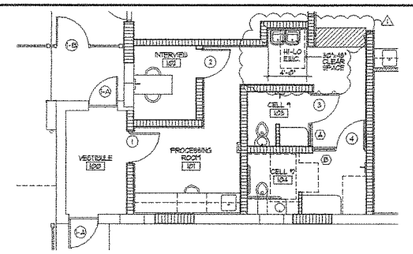
Of Sheets



Enlarged Ground Level Plan 3/16" (HOLDING CELLS)

CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM BY SOUTHERN STEEL COMPANY INCLUSIVE OF LABOR AND METERIAL FOR ALL COMPONENTS RELATED TO THE HOLDING FACILITY INCLUSIVE OF:

1. TOTAL # 6(6)/3DOORS INCLUSIVE OF DOORS AND FRAMES
2. SECURITY HARDWARE
3. SECURITY GLASS AND GLAZING

SECTION 11190 – BASIC DETENTION EQUIPMENT REQUIREMENTS 11190-

PART 1 GENERAL

SCOPE OF WORK:

A. Sections 11190 through 11194:

Section 11191 Security Hollow Metal
Section 11192 Security Hardware
Section 11193 Security Glass and Glazing
Section 11194 Security Furnishings

B. Products supplied but not installed under this section.

C. All materials and labor specified under 1.01 Scope of Work, Paragraph A, of the Specifications shall be furnished by a single qualified DSC who shall assume responsibility for the detailing, coordinating, supplying, erecting (where applicable), performance and warranty of this work, in accordance with this specification section.

D. Related Work Specified in Other Sections:

1. Concrete
2. Unit Masonry
3. Metal Fabrications
4. Electrical

DEFINITIONS:

A. DSC Detention System Contractor
B. ESS Electronics System Subcontractor

SUBMITTALS: In compliance with Division 1, Section 01300.

QUALITY ASSURANCE:

A. Qualifications of Detention System Contractor: Any DSC firm who intends to submit a bid on this Section of the Specifications, shall submit the following qualification data to the Architect in writing twenty one (21) days prior to bid date and, if approved, acknowledgement shall be by Addendum prior to bid date. Verbal approval will not satisfy this requirement. All DSCs except those listed below, shall submit all information exactly as herein requested or will not be allowed to submit a bid. Grounds for disqualification shall exist if it is proven that the information submitted is inaccurate or, in the opinion of the Architect, does not satisfy the qualification requirements.

1. Evidence that the DSC firm has a minimum of ten (10) years experience in successfully completing projects of equal scope and magnitude with products as herein specified. This evidence shall consist of a list of ten (10) projects that have been complete and operational for a minimum of five (5) years.

2. For each facility, list: name and location of installation, value of contract and scope of work provided, date of occupancy by Owner, Owner's representative to contact and telephone number, Construction Manager or General Contractor, and Architect.

3. Provide independently audited financial statement for the previous three (3) years.

4. Provide statement indicating DSC has not filed for bankruptcy protection within the past ten (10) years.

5. Submit to the Owner a current letter from the lock manufacturer you will be using on this project stating that your firm is a factory-trained, fully authorized installer of their complete line of product.

6. Submit a statement letter from the Surety Company (that has an AM best 'A15" rating) stating that a 100% Payment and Performance bond will be supplied if selected as the successful Detention System Contractor (DSC).

7. Any firm intending to submit a proposal for this work must examine the existing conditions and equipment. Evidence of compliance of this requirement must be submitted along with the proposal. This evidence consists of a signature of a qualified representative of the Owner attesting to the date and time of the inspection.

8. Any supplier accepted under this provision shall be added by addendum prior to bid Bids received from others not named herein nor so accepted by addendum will be unresponsive and will not be accepted.

B. The following DSC's are pre-approved to perform the work of this Section:

1. Southern Folger Detention Equipment Company, San Antonio, Texas

NOTE: Approval of a firm as a DSC does not relieve that DSC from furnishing all materials from the manufacturers as herein specified.

DELIVERY, STORAGE AND HANDLING:

A. Responsibility of the General Contractor: (At no additional cost to the DSC):

1. Receive from carrier, unload and store all material, which is furnished only by the DSC and installed by others.

2. Temporary access openings required through walls to permit the placing of the detention equipment in the areas of the building where it is to be installed and provide use of hoist, cranes, elevators and lifts and/or cranes on regular time with qualified operators.

3. Protect all materials during storage on the job and after installation. All protection required while working and/or cleaning adjacent materials shall be the responsibility of the General Contractor.

4. Provide an adequate, secure, dry, lockable storage area or room in each building and floor (if high-rise) for all materials specified in this Section.

B. The DSC shall be responsible for receiving, unloading and distribution of all products furnished and installed by the DSC.

WARRANTY:

A. The DSC warrants materials furnished and installed under this Section to be free from defects in materials and workmanship for a period for one (1) year after installation.

Materials which has been misused, abused or neglected by the Owner, defects for damage caused by work or failure of work by others; ordinary wear and tear; or normal equipment adjustment which are within the Owner's operation and maintenance responsibility will not be covered by the warranty.

B. Any unauthorized modifications; repairs or tampering shall constitute termination of this warranty.

C. The DSC shall be fully reimbursed including travel expenses for service calls during the warranty period which prove to be other than work covered by the DSCs warranty.

D. The DSC must have full time employees trained in and devoted to the maintenance and repair of this equipment.

PART 2 PRODUCTS (See Individual Sections)

The DSC shall utilize only listed approved manufacturers, component fabricators and suppliers. Any other manufacturers, component fabricators or suppliers must be approved by addenda twenty-one (21) days prior to bid date.

The DSC shall be responsible for the integration, interfacing and coordination of all products and systems with other related parties as hereinafter defined and specified.

PART 3 EXECUTION (See Individual Sections)

PREPARATION

A. Examine the areas and conditions under which installation is to occur and document conditions detrimental to the proper and timely completion of the work. Installation should not proceed until unsatisfactory conditions have been corrected.

B. Prior to installation, meet at project site for purpose of reviewing products and installation methods selected, procedures to be followed in performing the work and coordination.

C. Protect adjacent surfaces while installing products against damage, stains.

D. Ascertain location and arrangement of anchorage required to accommodate work; coordinate with other trades where necessary to make provisions for installation.

E. Furnish setting drawings, diagrams, templates, instructions and directions for installation of all products. Coordinate delivery of such products to project site.

F. Distribute all items to installation locations immediately prior to installation, complying with all applicable product handling requirements. Coordinate timing of distribution.

G. Coordinate with other trades for proper location of rough-in services and service connections specified elsewhere.

INSTALLATION:

A. Securely place products in locations required. Install in alignment, free from warp, twist or distortion, plumb, level and true. Comply with approved shop drawings, manufacturer's instructions and recommendations for both handling and installation of the products for particular conditions of installation in each case, except where more stringent requirements are indicated or specified, or where project conditions require extra precautions or provisions for satisfactory performance of work. Where printed instructions are not available or do not apply to project conditions, consult manufacturer's technical representative for specific recommendations before proceeding. Do not install products that are observed to be defective.

B. Perform cutting, drilling and fitting required for installation of detention equipment.

C. Set work accurately in location, alignment and elevation, measured from established lines and levels with lines visually parallel.

D. Cut necessary holes for installation or other work in detention equipment; comply with templates or detail drawings furnished by other trades prior to fabrication and installation of detention work.

E. Comply with ANS Code for procedures of manual shielded metal-arc welding, appearance and quality of welds made, and methods used in correcting welding work. Exposed plug welds shall be 1/8-inch minimum at 3/8-inch diameter holes equally and uniformly spaced over each frame, evenly spaced not greater than 12 inches on center. Exposed fillet (stitch) welds shall be 1/8-inch minimum, 1-1/2 inches long (minimum length) evenly spaced not greater than 12 inches on center. Exposed welds that occur at frame corners and at doorframes shall start no further than 4 inches above sills. Where surfaces are to be exposed to view, grind and sand welds smooth; finish holes, defects, other imperfections so surfaces will be smooth when painted.

F. Field welding or other field attachment of metal assemblies to embedded anchorages shall be accomplished by DSC. Where adjustable anchors are required, furnish anchors to frame installers for setting. Concrete unit masonry provider shall grout frames set into concrete block, including intermediate mullions or tubular elements (provide grouting and curing instructions).

ADJUSTMENT, REPAIRING:

A. Before final connections to electrical power are made, test all electrically operating or sensing items and adjust as required to provide proper functions. Test electrically controlled doors utilizing the control consoles under normal operating procedures.

B. Adjust and lubricate moving parts to operate smoothly and quietly, without binding.

C. Work shall be free from scratches, dents, permanent discolorations and other defects; remove and replace damaged parts, surfaces with imperfections or damage during installation or thereafter before time of final project acceptance. Prior to touch-up painting, remove foreign material from metal surfaces including connections. Touch-up welds, bolted connections, and all abraded/damaged areas in shop applied metal primer paint.

PROTECTION, CLEANING:

A. Comply with Division 1 requirements.

B. During installation, protect adjacent surfaces and detention equipment from damage. Work shall be free from scratches, dents, permanent discolorations and other defects; remove and replace damaged parts and surfaces with imperfections before time of final project acceptance.

C. During installation, maintain storage and work area, and installation locations, in neat, orderly, broom clean condition.

D. Remove all non-permanent labels; non-permanent protective coatings and identifying marks, and thoroughly clean all surfaces, including concealed work. Remove foreign materials prior to inspections for project closeout.

E. DSC shall advise General Contractor of required procedures for protection of complete detention work. Advice shall extend through period of installation of other work near detention work, and also through remainder of construction period, for the purpose of assurance that detention equipment will not be damaged.

F. All final cleaning shall be the responsibility of the General Contractor.

DEMONSTRATION, OPERATING INSTRUCTIONS AND TRAINING

A. The object of the provided operating/maintenance manuals, training materials and instruction period shall be to communicate a total understanding of operations and maintenance of all detention equipment included in the work. Submit proposed operating/maintenance materials and training materials for review, comment and approval by the Architect and Owner. Coordinate with Owner to review materials and instruction periods, to ensure Owner instruction and information requirements will be met. Obtain approval prior to scheduling training session.

B. On-Site Training: Provide representative to Owner who are knowledgeable in operation of detention equipment, and who have thorough knowledge of its mechanisms and operation, for an on-site instruction and training period involving Owner's designated personnel. Representative must be capable of training personnel in the adjustment and operation of detention equipment including pertinent safety requirements, and instructing maintenance personnel in its operation, repair and upkeep. Instruction shall be given during the first week after the system has been accepted and turned over to the Owner for regular operation, except if detention equipment adjustment and/or repairs are required for its use. In such case, training sessions are not to occur until such adjustments and/or repairs have been satisfactorily completed.

1. On-site instruction and training period will not exceed five (5) consecutive eight (8) hour days
2. Provide on-site training for a minimum of two (2) eight hour days on the use of the key system established in Section 11192.

C. Off-Site Training: Provide a training period, which shall take place at the detention equipment manufacturer's training facilities. This training period shall not exceed five (5) days in length and shall be attended by three (3) staff members as selected by the Owner. DSC shall include the cost of all transportation, food and lodging expenses for the three (3) staff members selected by the Owner. Expenses for additional staff members will be paid by Owner.

SECTION 11191 – SECURITY METAL DOORS AND FRAMES 11191-

PART 1 GENERAL

SCOPE OF WORK:

A. The work covered by this Section includes the furnishing of all labor, material, equipment and incidentals required to manufacture detention hollow metal as indicated in the drawings or herein specified.

B. Related Documents:

1. Architectural drawings and general provisions of the Contract, including General and Supplementary Conditions.

C. Related products furnished by others, but not specified in this section

1. Door Hardware
2. Security Glass and Glazing Materials
3. Gaskets and Weatherstrips
4. Intercoms and Intercom Back Boxes
5. Caulkings and Adhesives
6. Grouting of frames

D. Related sections

1. Section 11190 – Basic Detention Equipment Requirements

REFERENCES

A. ASTM A366, Steel, Carbon, Cold rolled, Commercial Quality

B. ASTM A569, Steel, Carbon, Hot Rolled Sheet and Strip, Commercial Quality

C. ASTM A525, Steel Sheet, Zinc Coated (Galvanized) by the Hot Dip Process, General Requirements

D. ASTM A526, Steel Sheet, Zinc Coated (Galvanized) by the Hot Dip Process, Commercial Quality

E. ASTM A167 and A240, Stainless Steel Type 304

SUBMITTALS

A. Shop Drawings: Manufacturer shall provide shop drawings for review and approval which include at least the following:

1. Door and frame elevations and sections
2. Schedule of openings including dimensions, gauges, anchors and label requirements.
3. Manufacturers standard instructions for frame installation and for material handling and storage.
4. Location and detail of openings in frames or doors.
5. Glazing types and stops
6. When a fire resistance classification is shown or scheduled for steel doors or frames provide fire rated doors with recognized testing laboratory labels affixed. During the submittal process, identify openings which may not receive labels due to hardware, dimensional or other limitations. For such openings, provide certification that the door and frame components have been constructed in accordance with the requirements of the testing laboratory.

B. Testing and performance

Doors and frames shall meet the following minimum test standards. Compliance with test requirement shall be certified by reports of independent testing agencies. Test reports shall indicate the construction of the samples tested with sufficient particularity that construction can be verified.

1. Static Load Test: This test is intended to verify the integrity of the door construction system employed by the manufacturer. With a 36" by 84" door panel supported by both ends, and load applied equally one fourth of the distance from each end, the test panel shall deflect not more than 0.08" at the center and shall rebound to not more than 0.10" when load is removed.

Door Gauge	12	14	16
Test Load	14,000#	14,000#	8,000#

2. Rack Load Test: This test simulates a prying attack on a corner of the door. A 36" by 84" test panel is rigidly restrained at one end. A third corner is simply supported. Loads are applied and deflections measured at the fourth corner. Under the following loads, deflection shall not exceed the amounts shown.

Door Gauge	12	14	16
Test Load	7,500#	7,500#	4,000#
Permitted Deflection	3.2"	3.2"	2.6"

3. Door Impact Test: This test simulates a battering attack on a door and frame assembly, using impacts of 200 foot pounds applied to the strap side of the door by a steel pendulum having a 4 square inch hitting surface. 12 and 14 gauge doors shall be secured with a SSCO 1980-1 lock installed in a door pocket. 16 gauge doors shall be secured with a SSCO 2" narrow jamb lock mounted in the frame jamb. Door shall remain closed during testing and shall be fully operable following the test.

Door Gauge	12	14	16
Hits (6' from bait)	400	400	200
Hits (6' each hinge)	150	150	*50

*center hinge only

4. Edge Crush Test: This test simulates a crushing attack on the edge of the door, and also demonstrates the door's resistance to buckling across the surface. At the center of the edge of a 36" by 36" flush door panel, apply load using a 1-1/2" diameter steel cylinder. Load shall be applied in the plane of the door and the axis of the cylinder shall be perpendicular to the plane of the door. Ends of the test panel shall not be restrained.

Door Gauge	12	14	16
Minimum Load Supported at 0.25" Deflection	8,000#	8,000#	3,800#
Load Supported without Collapse	15,000#	10,000#	6,000#

5. Removable Glass Stop Testing: Prepare a 12 gauge test window frame of 28" by 33" glass opening, and glaze it with a 3/8" steel plate. Security screws used and screw spacing shall be the manufacturer's standards. Subject the test frame to 400 impacts of 200 foot pounds each on the steel glazing panel within 6" of a single corner. Stops must remain in place, and not more than one screw may be broken upon completion.

6. Louver Impact Test: Where louvers by door and frame manufacturer are specified, provide test report demonstrating that louver construction has been subjected to (30) 200 foot pound blows on the louver blades, applied with a steel pendulum having a 4 square inch striking surface, without failure of the louver and without being able to pass a flat, rigid Rem through the louver upon completion of the test.

QUALITY ASSURANCE

A. Materials covered by this section shall be supplied only by manufacturers having at least ten years of experience supplying detention grade hollow metal.

B. The following suppliers are approved and are acknowledged to have met the standards contained in this paragraph 1.04:

1. American Steel Products, Swainsboro, GA
2. Habersham Metal Products, Cornelia, GA
3. Trans-Bill, Inc., St. Paul, NM

C. Others seeking approval as a hollow metal supplier shall submit the following requested information to the architect at least twenty-one (21) days prior to bid date. If approved, notification shall be by addenda:

1. Evidence that the firm has a minimum of ten (10) years successful experience in completing projects of similar scope and magnitude with product similar to those specified herein.
2. A list of completed projects including not fewer than five (5) which have been successfully in operation for at least (5) years, including contacts at each facility with addresses and phone numbers.
3. A list of all projects in the past five (5) years as to which the proposed supplier has been involved in litigation with a city, state or federal government agency, describing the status of result of such litigation.
4. Copies of all test reports required elsewhere in this section.
5. The following samples:
   a) Door
      (1) 1'0" by 1'0" corner sample with hinge mortise and reinforcement showing construction.
      (2) 6 x 6" sample of interior door construction without edge or other reinforcing.
   b) Frame
      (1) 1'0" by 1'0" corner section showing joint of head to jamb. Include hinge mortise, reinforcement and grout guard in one rabbet. Apply glazing stop on the opposite rabbet including corner joint.

WARRANTY

A. Products supplied under this section shall be warranted by the manufacturer to be free of defects in material or workmanship for a period of one year.

PART II – PRODUCTS

MATERIALS

A. Doors and frames shall be constructed using new, commercial quality hot or cold rolled steel, or stainless steel as identified in the architectural drawings. Steel used shall be in conformity with Paragraph 1.02 of this Section.

GLASS MOLDINGS

A. Where specified or indicated on drawings, doors and frames shall be supplied with removable glass moldings. These shall be formed steel angles of 12 gauge minimum. Where dimensional restrictions preclude use of an angle, offset surface mounted stops may be used. All stops shall have tightly fitted butted or mitered corners and shall be secured with 1/4"-28 tork head security screws no more than 8" on center.

DOOR CONSTRUCTION

A. General: All door face sheets shall be 12 gauge unless specified differently. Manufacturer's door reinforcements and fabrication techniques shall be consistent with, or more substantial than, the construction employed in doors tested to demonstrate compliance with the performance requirements herein.

B. Specific Additional Reinforcement: The following reinforcement requirements shall also be met:

1. Doors shall be internally reinforced with one of the following systems:
   a) Continuous steel truss design core material, 28 gauge minimum, having truncated triangular sections extending continuously from one door face to the other, spotwelded to each face 2-3/4" oc horizontally and 3" oc vertically. Core material to extend full height and width of door.
   b) Rolled or formed 1/8" steel channels extending from top to bottom of door and continuous from one door face to the other, spaced not more than 4" oc and spotwelded to door faces not more than 3" oc vertically.
   c) Continuous vertical hat sections, one such hat section welded to each face of the door, 16 gauge minimum, with vertical webs no more than 4" apart, spot welded to faces no more than 3" oc vertically. Hat sections shall be welded to each other at least every 6" oc both sides in order to prevent door separation. An additional full height edge stiffener in the form of a 1/8" channel shall be installed and welded to both faces not more than 4" oc.
2. Door edges shall be provided with additional reinforcing to prevent prying or compression attacks on the door edge. The thickness of the door edge, including this reinforcing, shall be not less than 5/32" for 12 and 14 gauge doors and 1/8" for 16 gauge doors. This reinforcing must be welded directly to the door edge.
3. Top and bottom of the door shall be closed with a 12 gauge formed channel, 16 gauge for 16 gauge doors. Top and bottom closing channels shall be welded to the edge reinforcing. Top and bottom of doors shall be finished flush with inverted channels of not less than 14 gauge, 16 gauge for 16 gauge doors.
4. Hinge reinforcements shall be minimum 3/16" thick of the size and shape utilized in testing. They shall be projection welded to the door edge, and after installation additionally electrically spot welded to the door edge. In addition, a backup channel stiffener of not less than 14 gauge shall be welded to each hinge reinforcing and to each door face, to prevent rocking failure of the hinge reinforcing.
5. Swing door edges shall be beveled 1/8 in 2". Sliding doors shall have square edges.
6. Hardware Preparation – Doors shall be reinforced, drilled, tapped and prepared for templated mortised hardware only, in accordance with a final approved hardware schedule and templates provided by the hardware supplier. Where surface hardware is to be applied, doors shall be reinforced only. Reinforcing dimension shall be as follows:
   a) Surface Mounted Hinges – Minimum 3/8" reinforcing
   b) Mortised Hinges and Pivots – 3/16"
   c) Internal Reinforcing for Other Hardware – 12 ga
7. Louvers – Louvers, if required, shall be of the inverted V type with blades formed from 18 gauge minimum material and positioned so that no rigid flat object can be passed through them. Louver design shall meet the performance standards set out in Paragraph 1.08.
8. Speakers – Speaking devices shall consist of a rectangular pattern of round holes, not exceeding 1/4" in diameter in both face sheets. The hole pattern shall be at least 4" by 5". The space between the hole patterns shall be baffled with steel sections of not less than 18 gauge so that objects cannot be passed through the door.
9. Food Pass Openings shall receive a SSCO 282 Food Pass Assembly.

C. Doors shall have the Architects' mark number permanently stamped on the center hinge reinforcement for swing doors and on the top for sliding doors.

D. Field Examination: If directed by the architect, the erector shall destroy a randomly selected security hollow metal door by sawing it in half. When examination discloses door construction at variance with the details shown in performance test reports (Paragraph 1.08), the door manufacturer shall replace all non-conforming doors shipped to the project with doors constructed in conformance with construction of doors tested. Under conditions of non-conformity, the door manufacturer shall pay for the destroyed door and related labor. When examination proves that the door construction is consistent with tested doors, the owner will pay to replace the destroyed door and related labor.

FRAME CONSTRUCTION

A. General: All frames shall be 12 gauge, except for 14 gauge for applications with 16 gauge doors. All frames shall be formed of hot or cold rolled steel produced in accordance with ASTM A569 or ASTM A366. Frames scheduled as galvanized shall be in accordance with ASTM A526 (A60). Frames shall be straight, neat in appearance, and free of warpage and buckling. At frame joints shall be welded, except where overall size of frame precludes shipment, in which case appropriate splices shall be provided for field erection by others. Following fabrication, welded areas of galvanized frames shall be re-sprayed with a cold galvanizing product complying with mil spec. P.46105.

B. Frame Details

1. Jamb, head and sill profiles shall be as scheduled or shown in architectural drawings. Stop height for frames shall be one inch (1") for glass openings and 5/8" for door openings.
2. Corner joints shall have all contact edges closed tight with faces mitered and stops butted or mitered. Corner joints shall be continuously welded and the use of gussets or splice plates is unacceptable.
3. Frames for multiple openings shall have mullion members which are closed tubular shapes conforming to profiles shown on drawings and which have no visible seams or joints.
4. Frames shall have the architect's door number permanently stamped in the center hinge reinforcement. Where frames do not receive hinge preparation, number shall be stamped in a prominent location, where it will not be visible after installation.
5. Frames shall be mortised, reinforced, drilled and tapped for all templated mortised hardware only in accordance with the final approved hardware schedule and templates provided by the hardware manufacturer. Where surface mounted hardware is to be applied, frames shall be reinforced only – all drilling and tapping shall be done by the erector.
6. Mortised hinge and pivot reinforcement shall be a minimum of 3/16" thick, 1-1/2" wide and 9" long. Reinforcements shall be projection welded to the frame and shall be MIG welded to the frame at top and bottom of each reinforcing. The top hinge shall be additionally reinforced with a 3/16" thick formed angle welded both to the hinge reinforcing and frame face.
7. Drilling and tapping of frames for surface mounted hinges shall be by field erector, after door is fitted plumb and true into frame.
8. Other Reinforcements: The following applications shall be reinforced as indicated:

Lock Bolt Opening Backup	12 gauge minimum
Surface Mount Closers	12 gauge minimum
Concealed Closers	3/16" minimum
Strike Mounting Clips	3/16" minimum

9. Floor clips shall be provided of gauge at least as great as the frame gauge and shall be welded in place at the bottom of each jamb. They shall have two holes for anchoring to floor. If an scheduled, adjustable floor clips shall be provided.
10. Frames shall be caulked in order to limit leakage of grout into frame openings.

C. Jamb Anchors

1. Masonry – Provide a minimum of three (3) T-type corrugated masonry anchors for each jamb mounted in masonry up to 84" in length. Anchors shall have holes in them permitting insertion of reinforcing bar. For longer jambs, provide sufficient anchors to permit maximum spacing of 24". Where dictated by fire rating testing laboratory procedures, supply anchors complying with such requirements.
2. Prefinished Masonry, Concrete Openings – Factory punched and countersunk holes for 3/8" diameter expansion bolt anchors, not more than 6" from top and bottom of jamb and 24" on center. Weld in 12 gauge minimum reinforcing chairs to prevent frame deformation while tightening anchor bolts. Concrete anchors and bolts shall be provided under the general contract.

D. Mortar Guards of not less than 24 gauge steel shall be welded in place at all hardware mortises on frames to be set in masonry or concrete. Guards for closers shall be 18 gauge minimum.

E. All frames shall be provided with two temporary steel spreaders welded to the feet of the jambs to serve as bracing during shipping and handling only. These shall be removed prior to installation and are not to be used for setting of proper frame tolerances.

FABRICATION AND WORKMANSHIP

A. All material shall be smooth and free of surface blemishes. Gauge of frame members and door face sheets shall be as indicated in the architectural drawings. Doors and frames shall be neat in appearance and free from warpage or buckle. Edge bends shall be true and straight.

PRIME PAINTING

A. Doors and frames shall receive one coat of the manufacturer's shop primer which shall be compatible with topcoats specified in Section 09910. Prior to painting, doors shall be pressure sanded on both faces to minimize welding marks and to remove dirt or grease. Frames shall be high temperature washed and phosphatized to ensure paint adhesion. Paint shall be a minimum of 2 mils dry thickness and shall be applied in an even manner without drips or runs, and in accordance with paint manufacturer's specifications.

PART III – EXECUTION

HANDLING AND STORAGE OF MATERIALS

A. Frame erector shall receive material at jobsite, unload it, note any damage and file any required freight claims, and store the material, all in accordance with Manufacturer's instructions.

INSTALLATION

A. Prior to installation, frame erector shall check frames for size, swing, squareness, alignment, twist and plumbness. Conduit connections shall be checked to assure that they have not loosened during shipment. Screw protection, if provided, shall be checked to assure that it has not been removed or tampered with.

B. Install frames as set forth in Manufacturer's instructions with jambs parallel, frame faces in the same plane and parallel with wall surfaces, frames set squarely in openings. Maximum deviation shall be 1/16" in any such dimension as described in Manufacturer's installation instructions.

C. Any scratches or paint damage which has occurred during installation shall be cleaned and touched up with primer.

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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-9541

REVISIONS	BY
1 4-30-14	

5-20-14
NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY ALL THE ARCHITECTS LISTED ABOVE AND REVIEWED AND OBSERVED APPROPRIATELY BY THEM THEIR STAFF

Date	3-27-14
Scale	
Drawn	
Job	13-032
Sheet	A-16
Of	Sheets

SECTION 11192 – SECURITY HARDWARE 11192-

PART 1 GENERAL

WORK INCLUDES:

A. Security hardware and necessary setting and adjustment information/assistance for complete security metal doors and frames.

B. Related Work:

1. Division 11 Section 11190, 'Basic Detention Equipment Requirements.'

2. Division 11 Section 11191, 'Security Metal Doors and Frames."

3. Division 11 Section 11198, 'Security Electronics.'

REFERENCES

A. ASTM F1577–96 Test Methods for Detention Locks for Swing Doors

B. ASTM F1643–95 Test Methods for Detention Sliding Door Locking Device Assembly

C. National Electrical Code, latest edition, for internal electrical requirements for hardware

SUBMITTALS:

A. Make submittals in accordance with the requirements of Division 1 Section 'Submittals' and Division 11 Section 11190 'Basic Detention Equipment Requirements.'

B. Submit specifications, installation instructions and general recommendations for products as required, including locks, hinges, lock mount covers, bolt keepers, wall bumpers, weatherstripping, thresholds, escutcheons, etc.

C. Hardware and Keying Schedules:

1. Submit one reproducible and one copy of each schedule type; indicate all products by name and number for each separate opening. Include all other pertinent hardware and keying information.

a. Hardware Supplier is required to coordinate a detention keying meeting with the architect and user so as not to delay the manufacturer and delivery of the required detention equipment.

2. Make promptly any corrections or changes necessary in schedules to comply with requirements; resubmit one reproducible and one copy of revised schedules.

3. Do not group doors with like or similar hardware under a single heading.

D. Templates for Fabrication:

1. Forward templates for each type of detention equipment hardware required to fabricators of work in Division 11 Section 11191, 'Security Hollow Metal' following final review of hardware and keying schedules.

2. Submit wiring diagrams for all electrical devices provided herein.

E. Locking Device Shop Drawings:

1. Indicate layout plans of each opening at 1/2" = 1'–0" minimum scale, show anchorage and accessory items, dimensions and finishes. Note: Complete housing module plans can be drawn at 1/4" = 1'–0" minimum, with typical enlarged plans.

2. Indicate complete details of internal components of sliding door locking mechanisms located in transoms and jambs.

F. Closeout Submittals – Furnish three copies of Operating/Maintenance Manuals including parts lists for security locks and locking devices.

QUALITY ASSURANCE

Throughout the specifications and drawings, types of materials may be specified by the manufacturer's name and catalog number in order to establish standards of quality and performance. If the bidder elects to substitute any other products, he must request the Architect's approval in writing no later than twenty–one (21) days prior to the bid date, and he must receive written approval by addendum. The following are requirements for approval for each type of product listed.

1. For each facility, list: name and location of installation, value of contract, scope of work provided, date of occupancy by Owner, Owner's representative to contact and telephone number, Construction Manager or General Contractor, and Architect. Indicate length of delivery after receipt of approved submittals.

2. Manufacturers Qualifications: Provide security equipment products from manufacturers who have been actively engaged in the production of security equipment for a minimum of ten (10) years in successfully completing projects of equal scope and magnitude with products as herein specified. This evidence shall consist of a list of ten (10) projects that have been complete and operational for a minimum of five (5). The manufacturer shall now be actively engaged in the design and manufacture of security locks, locking devices, furnishings and miscellaneous security hardware and products. All locks, locking devices and related security hardware shall be manufactured an supplied by the same manufacturer.

3. Five (5) copies of manufacturer's product specifications and catalog cut sheets and detail and performance data for each type product listed in this section.

4. Provide data substantiating that products being proposed for this project comply with the requirements stated herein. Provide detailed explanation of the differences of proposed products and the specified products.

5. List of projects under construction

6. List of completed projects

7. List of major suppliers

8. Approved Detention Hardware Suppliers:

1. Southern Folger Detention Equipment Company, San Antonio, TX

PRODUCT HANDLING

A. Comply with requirements of Division 11 Section 11190 'Basic Detention Equipment Requirements.'

B. For products delivered to door manufacturer and for products delivered to project site, package each item of hardware separately in containers, complete with necessary fasteners, installation instructions and installation templates. Mark each container with item numbers, location of installation in accord with corresponding information shown on final hardware schedule.

C. Store products at site to prevent damage or loss until installation is made.

D. Control handling and installation of hardware products which are not immediately replaceable, so that the completion of work will not be delayed by hardware losses, both before and after installation.

E. Deliver all keys in one shipment by secure carrier (hand carrier or registered mail) from manufacturer directly to authorized representative of the Owner, as directed by the Architect–Engineer. Include transmittal and forward copy of same to the Architect–Engineer.

WARRANTY

A. Comply with requirements of Division 11 Section 11190 'Basic Detention Equipment Requirements.'

MAINTENANCE

A. Provide spares in the quantities listed below for each hardware type:

1. Locks: Two of each type used (one left hand, one right hand).

2. Escutcheon: One of each type used.

3. Hinges – A: Two of each type used.

4. Closer – A: One of each type used.

5. Pulls:
a. Door Pull: One of each type used
b. Flush Pull: One of each type used

6. Wall Bumper: One of each type used

B. Fasteners and Accessories:

1. Furnish five percent extra fasteners and other miscellaneous accessories required for installation.

C. Furnish, for institution use only, one complete set of:

1. Special tools required for locking device and hardware maintenance
2. Lock repair kits

PART 2 PRODUCTS

MANUFACTURER :

A. Catalog numbers of the first manufacturers listed have been used to establish the quality required. The only other manufacturers approved are listed. Other manufacturers seeking approval shall do so in writing per General Requirements and shall list exact catalog numbers and description of the items proposed to furnish.

ITEM	1	2
Hinges	Southern Folger	
Closers	LCN	Norton
Stops	H.B. Ives	Glynn–Johnson
Holders, Surface		
Bolts	Glynn–Johnson	Checkmate
Push, Pull	Hiawatha	Brookline
Thresholds	Pemko	Reese
Weatherstrip	Pemko	Reese
Security Hardware	Southern Folger	

B. DESIGNATIONS: Following abbreviations identify listed manufacturers:

Brookline	Brookline Industries, Chicago, IL
Checkmate	Rixon, Inc.; Franklin Park, IL
Glynn–Johnson	Glynn–Johnson Corp.; Chicago, IL
Hiawatha	Metalcraft, Inc.; Minneapolis, MN
Ives	H. B. Ives Div.; New Haven, CT
LCN	LCN Closers; Princeton, IL
Norton	Norton Closer Div.; Charlotte, NC
Pemko	Pemko Mfg. Co.; Emeryville, CA
Reese	Reese Enterprises; Rosemount, MN
Southern Steel	Southern Folger Detention Equipment Co.; San Antonio, TX

SCREWS, FASTNERS AND TOOLS:

A. Furnish exposed fasteners to match item fastened. Make fastener of the same metal as item fastened, except use plated brass or stainless steel for all aluminum items. Provide twenty (20) spares of each type of fastener used for anchoring hardware.

B. Provide torx–head (star design with center pin) security fasteners for exposed fasteners on all security hardware, regardless of manufacturer. Furnish six (6) tool holders and six (6) bits for each different size screw. Holders and bits shall be left at project after installation and become property of the user.

MECHANICAL SECURITY HARDWARE FOR SLIDING DOORS:

A. Maximum security deadlock

1. Series/Manufacturer: Key operated deadlock. Key removable in the locked and unlocked positions

a. 1080A/Southern Steel
b. 80/Folger Adam

2. Door mounted, deadbolt with three hardened steel pins.

3. Six–lever tumbler keyed one side or both sides.

4. Supply with hollow metal lock mounting, escutcheon and security screws.

5. Provide keeper as scheduled.

6. Paraocentric keys are silicon bronze.

7. Galvanized case and cover

B. Medium Security – Mechanical Operation (Food Pass):

1. Series/Manufacturer:

a. 1017A/Southern Steel
b. 17/Folger Adam

2. Six–lever tumbler keyed one side or both sides.

Reverse bolt bevel at food pass location

B. Minimum and Medium – Mortize Lock:

1. Series/Manufacturer:

a. 10900/Southern Steel
b. D9300/Folger Adam

2. Installed mortised in door.

3. Lever handles retract locksets from one side or both sides.

4. Stainless steel latchbolt

5. Stainless steel deadbolt

6. Stainless steel deadlock actuator

7. Functions: Provide as designated in the security hardware schedule.

a. SSCO 10509
a. Latchbolt operated by lever either side except when outside lever is locked by key from inside.
b. When outside lever is locked, latchbolt is operated by key outside, lever inside.
c. Deadlock actuator.

C. Food Pass Hinge

1. Series/Manufacturer:

a. 203FP/Southern Steel
b. 9317/Folger Adam

2. Description

a. Built–in stop to hold the food pass door in a horizontal position for use as a shelf.
b. 3" H x 2–3/4" W, 1/4" thick steel leaves
c. Cold rolled, case hardened steel pin
d. Drilled and countersunk for screws standard

D. Full Mortised Hinge

1. Series/Manufacturer:

a. 204FMSS/Southern Steel
b. 4.5 FM–ICS/Folger Adam

2. Description:

a. 4–1/2 x 4–1/2, 3/16" thick leaves maximum
b. Stainless steel leaves, stainless steel non–removable pin, two hardened steel ball bearings, three knuckle with HT hospital tips.
c. 1/2" diameter pin to lock hinge in closed position
d. Provide quantities as follows:
a. Doors less than 5 ft high – 1 pair
b. Doors over 5 ft to 7 ft 6 in – 1–1/2 pair
c. Doors over 7 ft 6 in to 10 ft – 2 pair
d. Doors over 3 ft 6 in wide – 2 pair

E. Raised Door Pull

1. Series/Manufacturer
a. 2120/Southern Steel
b. #2/Folger Adam

2. Description:
a. Cast brass, US26D, 8–11/16" L x 1–3/4" W x 2–3/8".
b. Fasteners shall be 2–3/8" – 16 x ¼ security screws.

F. Recessed Door Pull

1. Series/Manufacturer
a. 2145/Southern Steel
b. #4/Folger Adam

2. Description
a. Cast brass, US26D, 5" high x 4" wide x 1" deep.
b. Fasteners shall be 1/4" – 20 x 5/16" security screws.

G. Escutcheon

1. Series/Manufacturer
a. 210/Southern Steel
b. /Folger Adam

2. Description

a. 3" diameter, stainless steel material with US32D satin finish
b. Provide with security fasteners

H. Closer

1. Series/Manufacturer
a. 2210/LCN
b. /Norton

I. Door Stops

1. Series/Manufacturer:

a. 438/Ives
b. FB1413/Glynn–Johnson

J. Thresholds

1. Series/Manufacturer:

a. 271A – 5'/Pemko
b. 5205A – 5'/Reese

2. Aluminum, secured with stainless steel, tors–head security screws.

K. Weatherstripping/Sound Seals

1. Series/Manufacturer:

a. 315CR x 345AV/Pemko
b. D570 x 353AB/Reese

L. Extruded anodized aluminum with neoprene seal.

FINISHES:

	ANSI U/S Symbol	Symbol	Description
Hinges, Exterior	US32D	630	Satin Stnls Stl
Hinges, Interior	US26D	626	Satin Chrome
Locks & Pulls	US26D	626	Satin Chrome
Closers	AL	689	Aluminum Painted
Push, Kick	US32D	630	Satin Stnls Stl
Stops	US26D	626	Satin Chrome

CYLINDERS, KEYS AND KEYING:

A. The security locks will incorporate three (3) separate keying systems; one for lever tumbler (Paracentric), one for pin tumbler (mogul cylinder) and one for commercial cylinder locks. Each keying system's keys shall be dye stamped for identification; corresponding to the hardware supplier's final schematic keying chart (See Paragraph 'E').

B. Lever tumbler locks shall be keyed alike or different as directed. Provide cut keys as required.

C. Mogul cylinder locks shall be master keyed as directed. Provide cut change keys, and master keys as required.

D. For all individual key designations, to each required Individual Key Cabinet, there shall be two (2) keys provided. For each master key designation, there shall be three (3) keys for each required individual key cabinet.

E. A complete, detailed schematic chart of the keying system will be required. The hardware supplier will also be required to enter the key symbols for all doors on additional floor plans which will be supplied by the Architect. Two (2) copies of the schematic keying chart and architectural floor plans shall be turned over to the user at the completion of the project. The cost for this service shall be included with the cost of materials at the time of bidding.

KEY CABINET:

A. Key control shall be furnished with a capacity of 1.75 times the number of individual key designations.

B. Cabinets shall have concealed–type hinge and rounded sides.

C. Panels must have individual hook and label pockets formed as an integral part of the panel, for both paracentric and mogul key types, as required.

D. Keys shall not leave the manufacturer's custody without prior arrangements for delivery and authorization from the Owner.

SECURITY SPARE LOCKS AND LOCK PARTS:

A. Shall be provided for the Owners' stock as follows:

B. One complete set of security screw drivers for all sizes of security screws used on this project.

C. One repair parts list and assembly drawings bound in a manual for all security products supplied in this section.

DOOR AND HARDWARE SCHEDULE

A. The hardware group/sets listed below indicate the items of hardware required for each opening. It is the bidder's responsibility to accurately furnish the proper sizes, quantities, weights, gage and function as required by these specifications and as recommended by manufacturers involved.

PART 3 EXECUTION

GENERAL

A. Comply with requirements of Division 11 Section 'Basic Detention Equipment Requirements.'

INSTALLATION:

A. Comply with requirements of Division 11 Section 'Basic Detention Equipment Requirements.'

B. All shipping of detention equipment hardware and coordination with other detention equipment shall be the responsibility of the Detention Equipment Supplier.

FIELD QUALITY CONTROL

A. Comply with requirements of Division 11 Section 'Basic Detention Equipment Requirements.'

ADJUSTMENT AND REPAIRING

A. Comply with requirements of Division 11 Section 'Basic Detention Equipment Requirements.'

PROTECTION AND CLEANING

A. Comply with requirements of Division 11 Section 11190, 'Basic Detention Equipment Requirements."

PART 4 HARDWARE SETS

Hardware Set SHO1CELL DR – SWING

Doors: 04, 05

3 EA HINGE	#204FMSS HINGE	US32D	SFDEC
1 EA MECH LOCK	#1080A–1	ZINC	SFDEC
1 EA LOOP PULL	#212C LOOP PULL	US32D	SFDEC
1 EA FLUSH PULL	#214S FLUSH PULL	US32D	SFDEC
2 EA FP HINGES	#203FP HINGE/BOLT ON	USP	SFDEC
1 EA FP LOCK	#1017AM FOOD PASS LOCK/MO	ZINC	SFDEC
1 EA DOOR STOP	#420 DOOR STOP		SFDEC
3 EA SILENCERS	#608 SILENCERS	GREY	ROCKWOOD

Hardware Set SH02 INTERIOR PASSAGE – SWING

Doors: 03, 06

3 EA HINGE	#204FMSS HINGE	US32D	SFDEC
1 EA MECH LOCK	#1050J	ZINC	SFDEC
1 EA CLOSER	#2210		LCN
1 EA DOOR STOP	#420 DOOR STOP		SFDEC
3 EA SILENCERS	#608 SILENCERS	GREY	ROCKWOOD

Hardware Set SH03 EXTERIOR PASSAGE – SWING

Doors: 01, 02

3 EA HINGE	#204FMSS HINGE	US32D	SFDEC
1 EA MECH LOCK	#1050J	ZINC	SFDEC
1 EA CLOSER	#2210		LCN
1 SETWEATHERSTRIP	315CR		PEMKO
1 EA THRESHOLD	271–5'		PEMKO
1 EA DOOR STOP	#420 DOOR STOP		SFDEC
3 EA SILENCERS	#608 SILENCERS	GREY	ROCKWOOD

Hardware Set SH04 EXTERIOR GATE – SWING

Doors: 07

1 EA MECH LOCK	#1080A–2xG	ZINC	SFDEC

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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-9541

REVISIONS	BY

5-20-14
NOT VALID FOR CONSTRUCTION UNLESS SIGNED, DATED & SEALED BY ARCHITECT OF RECORD. ALL ADDENDA AND CHANGES INCORPORATED WHERE ISSUED.

Date 3-27-14
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Job 13-032
Sheet
A-16.1
Of Sheets

SECTION 11193 – SECURITY GLASS AND GLAZING 11193-

PART 1 GENERAL

RELATED DOCUMENTS

A. Drawings and all provisions of the contract including General, Supplementary Conditions and other conditions and Division 1 Specification sections apply to the work of this section.

B. Work includes: Provide security glass products, and other glass products in combination with security glass products where required, for glass assemblies herein specified. Coordinate with work of other sections to ensure proper glazing pocket tolerances for installation of glass assemblies.

C. Related Work:

1. Division 8 Section "Glazing" for non-security glass and glazing.
2. Division 11 Section "Security Metal Doors and Frames."

APPLICABLE REFERENCE STANDARDS

A. Federal Specification FS DD-G-451, except as otherwise specified with type, class, quality, style, kind and form as specified.

B. ASTM E-331, for weatherability.

C. Ballistic and physical attack retention requirements for security glass products, specified in this Section.

D. ASTM D-1044, for abrasion resistance.

E. ASTM F-1233, for "No Spall" ballistic glazing

F. ASTM D-1925, for yellowing.

SUBMITTALS

A. Make submittals in accordance with the requirements of Division 1 Section "Submittals." All items listed below shall be submitted as a single composite submittal.

B. For security glass products, submit manufacturer's technical data describing products, and manufacturer's signed statement that such products do not fail to meet the herein specified ballistic and physical attack retention requirements.

C. For glass assemblies, submit technical data describing assembly fabrication, glazing methods, and glazing products to be used for installation.

D. Submit full scale frame corner samples (at least 8-inch square in size), glazed with each glass type, showing metal frame assembly, construction, glazing technique, and finish. (NOTE: Obtain frame sections from Division 11, Section 11191 "Security Doors and Frames" suppliers.

E. Submit results of ASTM 1044 Taber Abrasion Test, haze increase for 500 revolutions shall not exceed 100% for all polycarbonate sheets.

F. Submit results of ASTM D1925 Yellowness Index Test with a Gardner Colormeter, yellowing shall be less than 10 during a five year period.

G. Submit reproducible plan drawings showing glazing types for each door, window and/or opening on the project, include a tag number for each opening. These drawings shall be 1/8-scale and glazing types shall be identified by colors and/or a legend.

H. Submit manufacturer's recommended special precautions required for care, handling and cleaning.

I. Submit copy of Operation and Maintenance Manual "Table of Contents" for review and approval.

J. For insulating glass units, certify compliance with standards listed.

QUALITY ASSURANCE

A. Use only skilled, experienced tradespeople to install products.

B. Comply with technical reports by manufacturer of glass and glazing products as used in each glazing channel, and with recommendations of the Flat Glass Marketing Association "Glazing Manual" except where more stringent requirements are indicated or specified.

C. Each piece of glass shall be of domestic manufacture, labeled with the manufacturer's name and the grade or quality grade. Labels shall remain intact until completion of work or until removal is directed by the Owner.

D. Wired Glass: Tested and Listed by UL for "fire resistance."

PRODUCT HANDLING

A. Conform to the applicable requirements of Division 1 and the following:

1. Delivery: Load products in such a manner that they may be transported and unloaded without being damaged. Deliver products to project site contained or crated to provide protection during transit and project site storage. Time delivery to avoid delaying other trades whose work is dependent on this work. Coordinate delivery timing with Contractor.

2. Storage: Place all products in storage location as directed. Do not store products on or in the structure in a manner that might cause distortion or damage to the products or the supporting structures. Repair or replace damaged products or structures as directed.

3. Marking: Tag all products with markings which show proper installation locations.

4. Defective Products: Items found to be defective through manufacturing, transit damage, field installation, etc. shall be replaced within a three week period. Special shipment and manufacturing arrangements shall be arranged to accomplish this requirement.

WARRANTY

A. Security Glass: Submit written warranty agreeing to repair or replace glass and glazing materials which fail to perform as specified, including leakage of water, or failure in joint adhesion, cohesion, abrasion resistance, weather resistance, extrusion resistance, migration resistance, stain resistance, delamination, yellowing, breakage, coating failure and loss of light transmission for all assemblies, extending for five years after completion of project.

B. Show endorsement of glazier/installer on all warranties.

PART 2 PRODUCTS

GENERAL

A. Glazing types' indicated on the Schedules. Security glass products that are all or part of each glass assembly are likewise specified herein. Other glass products required for complete glass assemblies shall meet their requirements as specified in Division 8, Section "Glazing".

B. For security glass products, approved manufacturers are as specified, manufacturers approved are listed for each type.

C. Others seeking approval as either a manufacturer of security glass products or a manufacturer of a bonded glass assembly shall submit substitution requests in conformance with Division 1, with the following to be included:

1. Sample of each glass assembly or security glass product for which approval is sought.

2. Manufacturer's pertinent literature including comprehensive, detailed description of products, fabrication and test results.

3. Certified copies of test reports indicating that proposed substitution has undergone and passed all tests and retention criteria required of each as specified herein.

4. Resume of personnel in manufacturer's organization having at least five years experience in the design, fabrication and installation of glass comparable in quality and type to that specified herein, and a listing of at least five projects, comparable in quality and type to this project, whose execution has been under the direction of said personnel.

5. List of all confinement type facility installations completed by firm within the last year. Include facility name, location, General Contractor, Architect-Engineer and owner's representative, with respective telephone numbers, addresses.

6. Manufacturers 'approved' shall comply with all provisions of this section. Architect-Engineer reserves the right to consider each request on merits of material furnished or otherwise available to him, and to reject any or all requests which are not in the Owner's best interest.

D. For each glass assembly installed, maximum overall warpage allowed is:

1. For length of span up to 36 inches	Plus or minus 0.063 inch
2. For length of span 36 inches to 48 inches	Plus or minus 0.093 inch
3. For length of span 48 inches to 60 inches	Plus or minus 0.141 inch
4. For length of span over 60 inches	Plus or minus 0.187inch

E. The term warpage shall include bow, cup and twist. In measuring the amount of warp present in a glass unit, the following method shall be used: Bow, cup and twist shall be measured by placing a straightedge, taut wire or string on the suspected concave face of the glass at any angle (i.e. horizontally, vertically, diagonally) with the glass in its installed position. The measurement of bow, cup and twist shall be made at the point of maximum distance between the bottom of the straightedge, taut wire or string and the face of the glass.

MATERIALS

A. Acceptable Manufacturers

1. Global Security Glazing, Selma AL
2. Sheffield Plastics Inc, Sheffield MA

B. Glass Type Schedule

1. Type A – 3/4" Laminated Polycarbonate and Acrylic Sheet – 3 ply
2. Type B – 1" Laminated Polycarbonate Sheet – 4 ply
3. Type C – 1.25" Laminated Polycarbonate Sheet – 4 ply

C. Samples

1. Provide (2) 12" x 12" samples of each security glass product specified

D. Physical Characteristics

1. Type A: 3/4" 3-Ply Laminated Polycarbonate sheet, Sheffield Plastics Inc.'s Makrolon Hygard SR-750 or approved equal per UL Level 1 (9mm), H.P. White TP0500.02, Level B Ballistic (9mm)

a. 1/8" Abrasion Resistant Polycarbonate
b. 0.030 UR Resin Interlayer
c. 1/2" Acrylic
d. .030 UR Resin Interlayer
e. 1/8" Abrasion Resistant Polycarbonate

2. Type B: 1" 4-Ply Laminated Polycarbonate sheet, Sheffield Plastics Inc.'s Makrolon Hygard SR- 1000 or approved equal per ASTM F1233-93 (.38 Sup.), Class V (Step 40); HPW-TP-0500.00 Level B-S (Step 10).

a. 1/8" Abrasion Resistant Polycarbonate
b. 0.030 UR Resin Interlayer
c. 3/8" Polycarbonate
d. 0.030 UR Resin Interlayer
e. 3/8" Polycarbonate
f. 0.030 UR Resin Interlayer
g. 1/8" Abrasion Resistant Polycarbonate

3. Type C: 1-1/4" 4-Ply Laminated Polycarbonate sheet, Sheffield Plastics Inc.'s Makrolon Hygard SR-1250 or approved equal per ASTM F1233-93 (.44 Sup.), Class V (Step 41); HPW-TP-0500.00 Level A-2 (Step 53).

a. 1/8" Abrasion Resistant Polycarbonate
b. 0.030 UR Resin Interlayer
c. ½" Polycarbonate
d. 0.030 UR Resin Interlayer
e. ½" Polycarbonate
f. 0.030 UR Resin Interlayer
g. 1/8" Abrasion Resistant Polycarbonate

BALLISTIC AND PHYSICAL ATTACK RETENTION REQUIREMENTS

A. The following requirements shall be fulfilled for security glass products, as specified for each.

1. Ballistic Attack Retention Requirement No. 1

a. Mounting: Glass unit 18 inches by 96 inches shall be mounted in a security frame of approved design. Frame then shall be securely anchored, so as to not absorb any of the testing shock.

b. Ballistic Attack: 3 rounds (180 grain soft point bullet) from a 30.06 rifle at (26 inch barrel length) 30 yards, equally spaced over the test unit.

c. Results: Glazing collapse at any time so as to allow edge disengagement will constitute failure. Penetration of any bullet will constitute failure.

2. Ballistic Attack Retention Requirement No. 2:

a. Mounting: Glass unit 18 inches by 96 inches shall be mounted in a security frame of approved design. Frame then shall be securely anchored, so as to not absorb any of the testing shock.

b. Ballistic Attack: 24 rounds (180 grain soft point bullet) from a 44 magnum hand gun (7-1/2 inch barrel) at 27 feet equally spaced over the test unit.

c. Results: Glazing collapse at any time so as to allow edge disengagement will constitute failure. Penetration of any bullet will constitute failure.

3. Physical Attack Retention Requirements (60 minutes):

a. Mounting: Glass unit 18 inches by 96 inches shall be mounted in a security frame of approved design. Frame then shall be securely anchored, so as to not absorb any of the testing shock.

b. Physical and Flame Attack Personnel: Five men will be allowed to attack the glass unit for 60 continuous minutes. At all times at least one man will be attacking the unit. These men will be physically fit and between 185-250 pounds in weight.

c. Attack Tools, Attack Sequence and Duration: To be in the following order:

1) Two-pound claw hammer, claw end: 5 minutes
2) Cold chisel/screwdriver; 5 minutes
3) Ten-pound sledge hammer; 5 minutes
4) ASTM A500 Grade B 1-1/2 inch diameter pipe 3 feet long along with ASTM 36 2-inch x 2-inch angle iron 3 feet long; 5 minutes
5) ASTM A615 Grade 60 deformed #9 rebar for concrete reinforcement, 3 feet long 5 minutes
6) 4 inch by 4 inch table leg/chair leg (oak) 3 feet long; 5 minutes
7) Fire extinguisher dry chemical type for ABC fire class with 4A-80BC U/L rating; 5 minutes
8) Ten pound sledge hammer; 5 minutes
9) Heated clothes hanger along with heated knife (10 inch blade from 1/4 inch thick cold chisel); 5 minutes
10) Propane burner of temperature approximately 2,200 deg. F with tip of burner 4 inches from glass surface, and with nozzle diameter as required to result in heat source approximately 1 inch in diameter; 5 minutes
11) Four pound hammer; 5 minutes
12) ASTM A500 Grade B 3-inch diameter pipe 3 feet long at 1 inch x 1 inch angle iron 3 feet long; 5 minutes

d. Results: Frame failure will not constitute glazing failure. However, if this happens, time will be stopped and glazing will be remounted. Glazing collapse at any time so as to allow edge disengagement will constitute failure. Any opening allowing a 10 inch diameter cylinder to pass constitutes failure.

BONDED GLASS ASSEMBLIES

A. The following requirements apply to glazing types S1, S2, S3/WG and S4/WG.

B. 1/2 inch thick closed-cell foam tape, continuous, shall be applied on face edges separating the different products forming the bonded glass assembly. All air spaces are out to be nitrogen purged but sealed with silicone sealant to maintain the air space. Edges of glass assemblies shall be vinyl taped until installation occurs.

GLAZING ACCESSORIES

A. Silicone Rubber Glazing Sealant: Silicone rubber, one part elastomeric sealant, complying with FS TT-S-00230A, Class A. Provide acid-type (GE Silglaze or Dow 781) for non-porous channel surfaces and provide non-acid (GE 1200 or Dow 791) type for porous channel surfaces (where any of the channel surfaces are porous).

B. Molded Neoprene Glazing Gaskets (Air Glazing Products): Molded or extruded neoprene gaskets of the profile and hardness listed.

1. Vulcanized thermoplastic rubber, 70 plus/minus 3 durometer
2. Extruded 'U' shape, continuous the length of each side of the glass sheet, width as required for glazing.
3. 1/8 inch wall thickness each side of glazing, height of each leg to match stop height minus 1/8 inch.

C. Setting Blocks: Neoprene, 70-90 durometer hardness, with proven compatibility with sealants used.

D. Spacers: Neoprene, 40-50 durometer hardness, with proven compatibility with sealants used.

E. Compressible Filler Rod: Closed-cell or waterproof-jacketed rod stock of synthetic rubber or plastic foam, proven to be compatible with sealants used, flexible and resilient with 5-10 psi compression strength for 25% deflection.

F. Primers: Type recommended by glazing material manufacturer.

G. Provide cleaners, sealers, primers, setting blocks, spacers, shims and other accessories made by or recommended by, glass assembly manufacturers for conditions of installation in each case and as required by referenced standards.

EXTRA STOCK

A. For products which do not contain glass assemblies, provide four 4 feet x 8 feet panels of each security glass product, packaged for transit and storage. Deliver to area instructed by Owner.

B. For products which do contain glass assemblies, provide 2% of spare sizes but not less than one panel of each security glass product, packaged for transit and storage. Deliver to area instructed by Owner.

PART 3 EXECUTION

GENERAL

A. Provide watertight and airtight installation of each piece of glass. Each installation must withstand normal temperature changes and wind loading, without failure of any kind, including loss or breakage of glass, failure of sealants or gaskets to remain watertight and airtight, deterioration of glazing materials and other defects in the work.

B. Examine the areas and conditions under which installation is to occur and document conditions detrimental to the proper and timely completion of the work. Work should not proceed until unsatisfactory conditions have been corrected by the appropriate trade.

C. Prior to installation, meet at project site for purpose of reviewing products, verifying that openings are correctly sized and within tolerance and installation methods selected, and procedures to be followed in performing the work.

D. Distribute glass assemblies to installation locations immediately prior to installation, complying with all applicable product handling requirements. Coordinate timing of distribution.

E. Remove applied glazing stops and their fasteners. Clean glazing channel or other framing members to receive glass, immediately before glazing. Remove coatings which are not firmly bonded to the substrate. Remove lacquer from metal surfaces wherever elastomeric sealants are used. Apply primer or sealer to joint surfaces wherever recommended by sealant manufacturer.

F. Protect glass assemblies from damage at all times during handling. Inspect immediately before installation, and discard and replace glass assemblies if edge damage or face imperfections are observed, or if tong marks will be exposed when installation is completed.

G. Do not attempt to cut, seam, nip or abrade insulating glass or glass which is tempered.

H. Cut and install insulating glass as recommended in "Technical Service Report No. 1046" by PPG Industries, or similar report by other glass manufacturer.

INSTALLATION

A. Glazing channel depths are intended to provide for adequate bite on the glass. The installer is responsible for correct glass size for each opening, within the tolerances and dimension established, and for informing frame fabricators of required glazing channel widths to allow proper glazing accessory thickness.

B. Install products to drain all water in glazing on exterior surfaces and locations subject to high moisture.

C. Obtain detailed directions for stop installation from frame suppliers.

D. Do not install product with edge damage.

E. Do not field cut, nip or abrade glass.

F. Install setting blocks at the quarter points in adhesive or sealant.

G. Provide spacers inside and outside of proper size and spacing, for glass sizes larger than 50 united inches, except where gaskets are used for glazing. Spacers should have 1/8 inch minimum bite on glass.

H. Tool exposed surfaces of glazing sealants to provide a substantial 'wash' away from glass. Clean and trim excess glazing materials from glass, stops and frames promptly after installation to eliminate stains and discolorations.

I. Gasket Glazing: Continuous for each straight run. Miter-cut and bond ends together at corners to prevent gaskets from pulling away at corners. Protect glass where welding must be done in place.

J. Install and maintain product in original condition, remove and replace all damaged material.

K. Labels showing glass manufacturer's identity type, thickness and other pieces. Labels must remain on glass until it has been inspected.

CURE AND PROTECTION

A. Cure glazing sealants and compounds in compliance with manufacturer's instructions and recommendations for particular conditions of installation in each case, to obtain high early bond strength, internal cohesive strength and surface durability.

B. Protect glass and glazing sealants and compounds during the construction period, so that they will be without deterioration or damage at the time of Owner's acceptance.

C. Prevent glass damage due to alkaline wash from uncured concrete surfaces and similar sources of possible damage.

D. Remove and replace glass which is broken, chipped, cracked, abraded or damaged in other ways during the construction period.

CLEANING

A. Comply with Division 1 Section 01710 requirements. Leave entire work in neat orderly, clean condition.

B. Wash and polish glass not more than 7 days prior to Owner's acceptance of work in each area.

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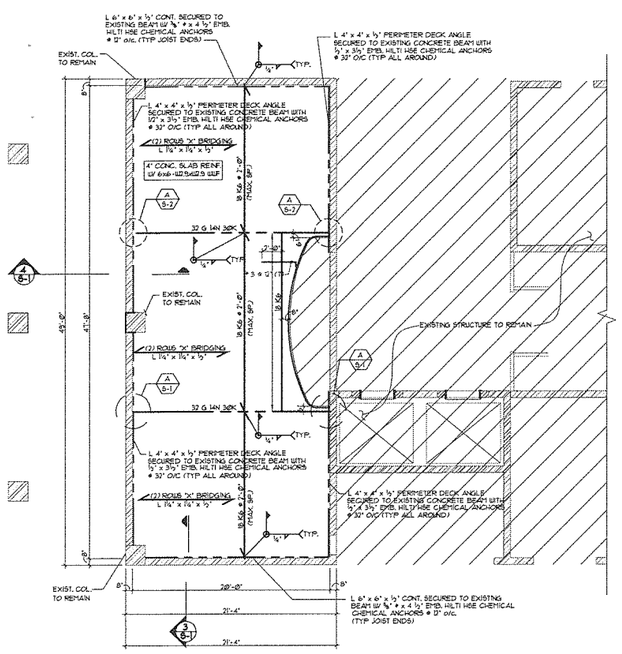
INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-9541

REVISIONS	BY

5-20-14

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ARCHITECT AUTHORIZED TO PRACTICE IN THE STATE WHERE WORK IS PERFORMED

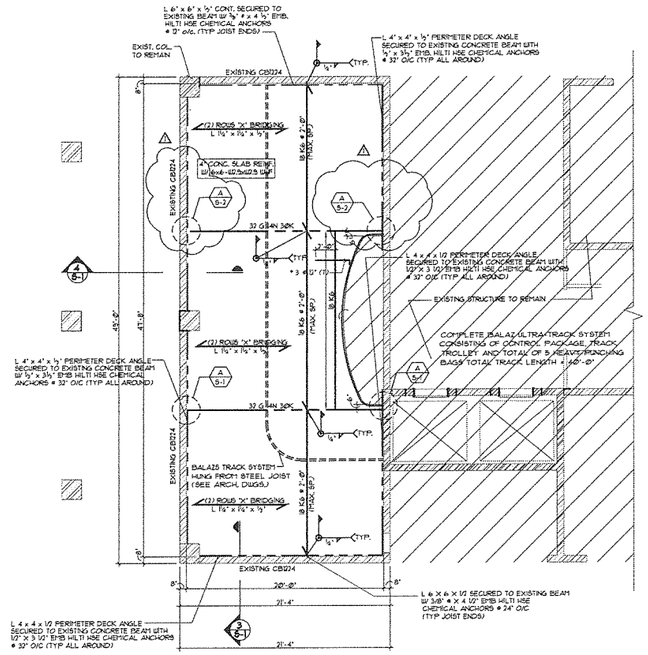
Date	3-27-14
Scale	
Drawn	
Job	13-032
Sheet	A-16.2
Of	Sheets



SECOND FLOOR FRAMING PLAN

SCALE: 3/16" = 1'-0"

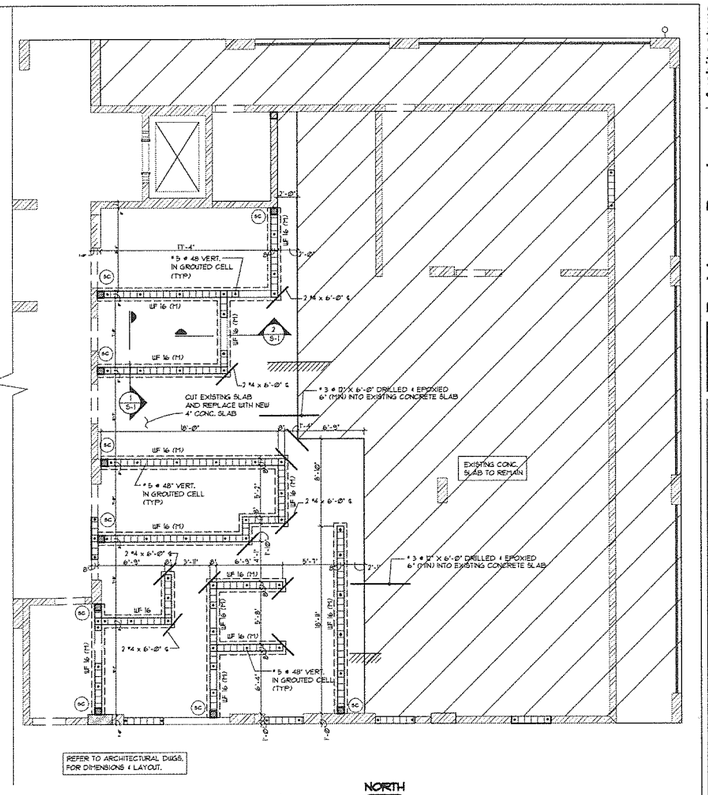
NORTH



THIRD FLOOR FRAMING PLAN

SCALE: 3/16" = 1'-0"

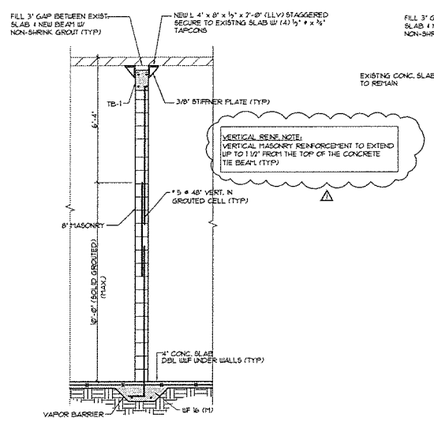
NORTH



GROUND FLOOR FRAMING PLAN

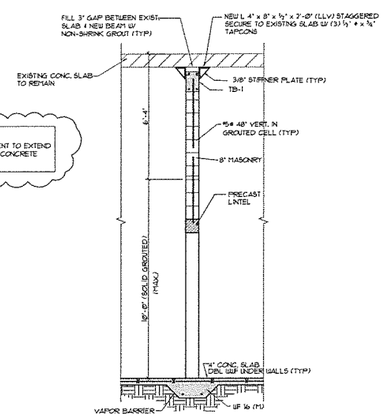
SCALE: 3/16" = 1'-0"

NORTH



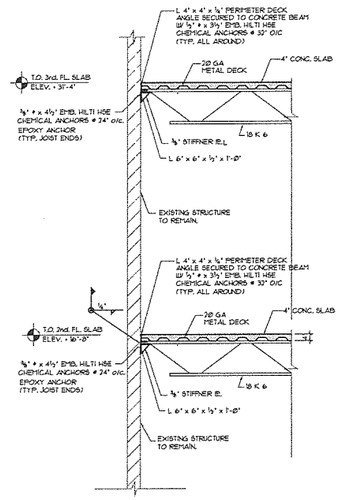
SECTION 1 S-1

SCALE: 3/8" = 1'-0"



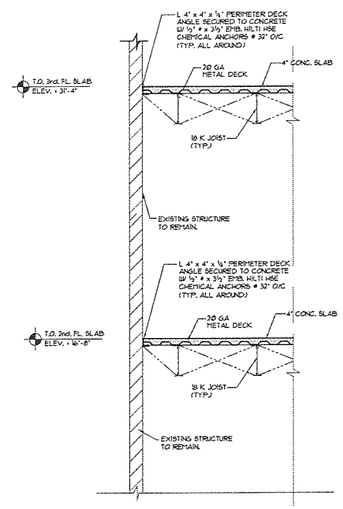
SECTION 2 S-1

SCALE: 3/8" = 1'-0"



SECTION 3 S-1

SCALE: 3/8" = 1'-0"



SECTION 4 S-1

SCALE: 3/8" = 1'-0"

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INTERIOR ALTERATIONS FOR

The Town of Medley - Florida

Municipal Services Facility

Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL 33166 Phone: (305) 887-9541

REVISIONS	BY
⚠ BLDG. DEPT. 05-02-14	P.J.C.

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CAUTION: DO NOT SCALE DRAWINGS. DIMENSIONS NOTED ON PLAN CONTROL OVER SCALE AND MUST BE COORDINATED WITH ARCHITECTURAL DWGS.

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSTRUED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEALED BY THE ARCHITECT OF RECORD AND ALL BUILDING TECHNOLOGY DISCIPLINES AS CONSULTANTS. ALTERATIONS OR CHANGES TO DRAWINGS AND THEIR DATA.

Date	
Scale	
Drawn	
Job	
Sheet	S-1
Of	Sheets

STRUCTURAL NOTES

1- ELEVATION

FINISH FLOOR ELEVATION (SEE PLAN).

2- CONCRETE :

A- COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS :
SLABS ON FILL: ——— 3000 PSI
GROUT: ——— 3000 PSI
MASONRY CELL: ——— 3000 PSI

B- TEST: A MINIMUM OF 1 CONCRETE SPECIMENS SHALL BE TAKEN FROM EACH 50 CU. YD. OR PORTION THEREOF. SPECIMENS SHALL BE TESTED ACCORDING TO ASTM C-39, TEST AT 3 DAYS, ONE AT 7, AND THREE AT 28 AND ONE HELD IN RESERVE.

C- GROUT TO BE TESTED AT LEAST ONCE PER DAY OR EVERY 50 CU. YDS.

D- COVER :CONCRETE DEPOSITED AGAINST THE GROUND ——— 3"
FORMED CONCRETE IN CONTACT WITH THE GROUND ——— 2"
BEAMS & COLUMN ——— 1-1/2"
SLABS: EXTERIOR ——— 1-1/2"

3- SLAB ON FILL : PLACED ACCORDING TO ACI 302

A- JOINTS :

A-1: ISOLATION JOINTS MUST BE USED AT JUNCTIONS WITH WALLS AND COLUMNS, USE 1/2" THICK PREMOLDED JOINTS FULL DEPTH OF SLAB.

A-2: CONTROL JOINTS SPACED AT CENTERLINE OF COLUMN LINES. PROVIDE INTERMEDIATE JOINTS IF COLUMN SPACING IS GREATER THAN 30 FT. IN SIDEWALKS PROVIDE TOOLED JOINTS SPACED AT INTERVALS EQUAL TO THE WIDTH OF THE SLAB.

4" SLABS: 1" DEEP TOOLED
JOINTS MUST BE SAWED BEFORE 24 HRS. AFTER CONCRETING.

A-3: CONSTRUCTION JOINTS MUST BE PLACED IN THE SLAB WHERE BUILDING EXPANSION JOINTS ARE SHOWN AND WHERE CONTROL JOINTS ARE SHOWN WHEN CONCRETING OPERATIONS ARE CONCLUDED FOR THE DAY. CONSTRUCTION JOINTS SHALL BE FORMED WITH BURKE KEYED KOLD METAL JOINT FORM OR APPROVED EQUAL.

B- VAPOR BARRIERS :

WATERPROOF MEMBRANES (OVERLAPPED 6" AT JOINTS) WITH A PERMEANCE OF LESS THAN .03 PERMS IN ACCORDANCE WITH ASTM E-96 SHALL BE PROVIDED UNDER INTERIOR SLABS.

C- WHERE NO VAPOR BARRIER IS USED THE SUBGRADE MUST BE DAMPENED WITH WATER IN ADVANCE OF CONCRETING. NO FREE WATER STANDING ON THE SUBGRADE NOR ANY MUDDY OR SOFT SPOT IS PERMITTED.

D- ANY STRUCTURAL MEMBER PENETRATING SLABS ON FILL IS TO BE ISOLATED WITH 1/2" THICK PRE-MOLDED JOINT FILLER COMPLYING WITH ASTM D-1752 TYPE I.

E- FINISHING :

NO PREMATURE FINISHING SHALL BE ALLOWED, PREDIATELY FOLLOWING FLOATING, TROWELING WITH STEEL TROWELS SHOULD BE COMMENCED IF REQUIRED. BROOMING SHALL BE DONE AFTER THE STEEL TROWELING OPERATION.

SLAB FINISHES (UNLESS OTHERWISE NOTED BY ARCHITECT) :
BUILDING ——— STEEL TROWELED
OUTSIDE SLABS ——— BROOMED

4- REINFORCING STEEL :

A- REINFORCING BARS CONFORMING TO ASTM A-615 GRADE 60, INCLUDING COL. & BEAM TIES.
B- WELDED WIRE FABRIC CONFORMING TO ASTM A-185 AND SUPPORTED ON SLAB BOLSTERS SPACED @ 3'-0" O/C.
C- FABRICATION AND DETAILING ACCORDING TO ACI-315.
D- ALL ACCESSORIES TO HAVE UNTURNED LEGS AND BE PLASTIC DIPPED AFTER FABRICATION.
E- IN CORROSIVE ENVIRONMENTS EPOXY COAT OR GALVANIZE ALL TOP BARS IN EXPOSED BALCONIES & WALKWAYS.

5- MASONRY :

A- BEARING : MASONRY SHOWN IN PLAN SHALL BE ERECTED PRIOR TO THE STRUCTURE ABOVE BEING POURED.

C- MORTAR : CONFORMING TO ASTM C-270, TYPE 'M' (2500 PSI).

D- PROVIDE DOVETAIL ANCHORS AT ALL INTERSECTIONS OF NON-BEARING MASONRY WITH STRUCTURAL CONCRETE COLUMNS AND WALLS.

6- SOIL COMPACTION :

FILL AND BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 95 % OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557)

7- COORDINATION :

COORDINATE ALL DIMENSIONS, ELEVATIONS & OPENINGS WITH ARCHITECTURAL, ELECTRICAL & MECHANICAL DRAWINGS. REPORT ANY DISCREPANCIES TO OUR OFFICE.

8- OWNER, ARCHITECT AND CONTRACTOR NOTE :

CHECKING OF SHOP DRAWINGS AND INSPECTIONS OF REINFORCEMENT IN THE FIELD ARE REQUIRED IF IS OFFICE IS TO BE HELD RESPONSIBLE FOR THE STRUCTURAL ADEQUACY OF THE CONSTRUCTED BUILDING.

9- SHORING, RE-SHORING AND TEMPORARY BRACING :

ALL SHORING, RE-SHORING AND TEMPORARY BRACING REQUIRED IN THIS PROJECT IS TO BE DESIGNED BY A FLORIDA REGISTERED ENGINEER WHO SPECIALIZES IN FORM WORK/TEMPORARY BRACING DESIGN AND WHO HAS BEEN HIRED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR IN THE ULTIMATE RESPONSIBLE PARTY FOR SHORING, RE-SHORING AND TEMPORARY BRACING REQUIRED ON THIS PROJECT AND MUST SATISFY HIMSELF OF THE ADEQUACY OF THE INSTALLATION OF THESE ITEMS AT ALL TIMES.

IN THE SPECIFIC CASE OF POURED SLABS, IT IS HIGHLY RECOMMENDED THAT THE GENERAL CONTRACTOR SECURE A CERTIFICATION OF THE INSTALLED SHORING FROM THE SHORING DESIGNER OR HIS AGENT PRIOR TO THE PLACEMENT OF CONCRETE.

10- SAFETY, OSHA AND LABOR LAWS :

THE STRUCTURAL ENGINEER OF RECORD DOES NOT POSSES NOR PRESSUMES TO POSSES ANY KNOWLEDGE OR EXPERTISE IN MATTERS RELATING TO JOB SITE EMPLOYEE SAFETY, OSHA OR LABOR LAW REQUIREMENTS FOR A CONSTRUCTION PROJECT.

SAFETY AND COMPLIANCE WITH OSHA AND LABOR LAWS IS THE ABSOLUTE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THOSE CONSULTANTS HE HIRES TO ADDRESS THESE MATTERS. THE STRUCTURAL ENGINEER OF RECORD SPECIALIZES IN STRUCTURAL DESIGN ONLY AND THE BOARD OF PROFESSIONAL REGULATION FORBIDS HIM FROM ASSUMING RESPONSIBILITY IN ANY AREA OUTSIDE OF HIS AREA OF EXPERTISE.

11- APPLICABLE CODES :

ALTHOUGH THE ENGINEER OF RECORD HAS STRIVED TO MEET ALL APPLICABLE CODE AND LOCAL ORDINANCE REQUIREMENTS, THE CONTRACTOR IS STILL RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES AND ORDINANCES IN THE EVENT OF CONFLICT OR OVERSIGHT IN THESE DRAWINGS, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER OF ANY CONFLICT OR DISCREPANCY ENCOUNTERED SO THAT APPROPRIATE REMEDIES MAY BE UNDERTAKEN.

12- LIVE LOADS :

30 PSF ROOF AREAS 100 PSF FLOOR AREAS

13- WIND DESIGN:

THIS STRUCTURE HAS BEEN DESIGNED TO WITHSTAND THE PRESSURES GENERATED BY 146 MPH WINDS IN COMPLIANCE WITH THE FLORIDA BUILDING CODE + ASCE 7-05

ASCE : 7-10
WIND SPEED: 175 MPH
EXPOSURE : C
USE FACTOR: 1
GCP : ± 1

14- CODES USED IN DESIGN:

2010 FLORIDA BUILDING CODE HVHZ, AS AMENDED
ACI 318-08 : BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY.
ACI 530/530.1-08: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES AND RELATED COMMENTARIES.
ASCE 7-10 : MINIMUM DESIGN LOADS FOR BUILDINGS AND STRUCTURES.

15- CONTRACTOR COMPLIANCE:

IN ADDITION TO THE ABOVE CONTRACTOR MUST COMPLY AS A MINIMUM WITH THE FALLOWING STANDARDS FOR CONCRETE CONSTRUCTION.

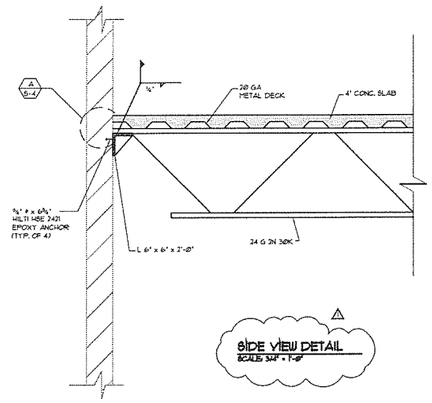
ACI 301-05 : SPECIFICATIONS FOR STRUCTURAL CONCRETE
ACI 304R-00: GUIDE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE.
ACI 305-99 : HOT WEATHER CONCRETING
ACI 306R-88: GUIDE TO CURING CONCRETE.
ACI 309R-96: GUIDE FOR CONSOLIDATING CONCRETE.

16- SOIL BEARING :

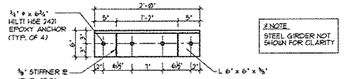
FOOTINGS HAVE BEEN DESIGNED FOR A BEARING CAPACITY OF 1500 PSF (BOTTOM OF FOOTING TO BEAR ON SANDY LIMEROCK OR SAND).
VISUAL INSPECTION OF THE SITE INDICATES SOILS CAPABLE OF SAFELY SUPPORTING THE DESIGN SOIL PRESSURE USED IN THE DESIGN OF THE FOUNDATIONS.

MIAMI DADE COUNTY, FLORIDA JURISDICTION REQUIREMENT:

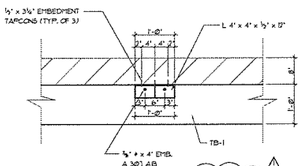
THE GEOTECHNICAL ENGINEER IS TO SUBMIT TO THE CITY OF MIAMI A SIGNED AND SEALED LETTER ATTESTING THAT THE SITE AND EXCAVATIONS HAVE BEEN OBSERVED AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE DESIGN IS BASED.



SIDE VIEW DETAIL
SCALE: 3/4" = 1'-0"



ELEVATION VIEW
SCALE: 3/4" = 1'-0"



PLAN VIEW
SCALE: 3/4" = 1'-0"

DETAIL A S-2
SCALE: 3/4" = 1'-0"

BEAM SCHEDULE

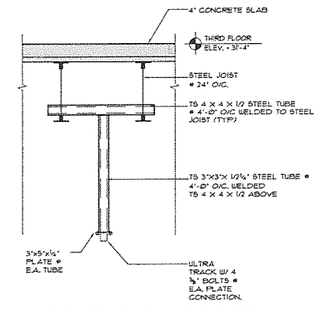
MARK	ELEV.	SIZE	REINFORCEMENT BOT.	REINFORCEMENT TOP	REINFORCEMENT C	REINFORCEMENT E	REINFORCEMENT I	STIRRUPS No.	STIRRUPS SPACING EACH END	REMARKS
TB-1	VARIES	8 X 2	2 # 5	2 # 5				3 @	4 # 3 @ 3", BAL. # 4@	

" TIE BEAM NOTE: DROP BOTTOM OF ALL TIE BEAMS AS REQUIRED OVER OPENINGS AND ADD 2 # 5 HOR. FOR EACH 9" OF VERTICAL DROP, IN OPENINGS LARGER THAN 6'-0" ADD #3 @ 9" O/C.
PROVIDE 2 # 5 (36" X 36") CORNER BARS AT EVERY CONC. TIE BEAM OUTSIDE CORNER OR CHANGE IN DIRECTION.
IN MASONRY TIE BEAMS PROVIDE CORNER BARS (36" X 36") OF THE SAME QUANTITY AND SIZE AS THE TIE BEAM REINF.

FOOTING SCHEDULE

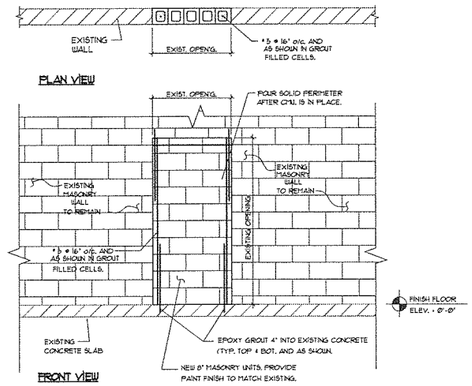
MARK	SIZE	REINFORCEMENT LONG.	REINFORCEMENT TRANS.	
SF-16 (TYP.)	16" x 9" CONT.	2 # 5	-	MONOLITHIC

NOTE:
PROVIDE 36" x 36" CORNER BARS AT ALL CONT. FOOTING CORNERS AND INTERSECTIONS.
SPLICE REINF. 36 BAR DIAMETERS (MIN.)

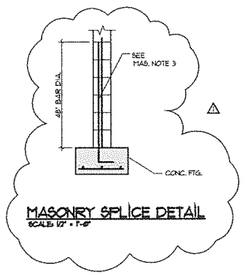


NOTE: WHERE ASSEMBLY DOES NOT LAND AT A JOIST PANEL POINT ADD (2) L 1" X 1" X 1/8" (ONE E.A SIDE), WELDED TO TOP & BOTT CHORDS OF JOIST.

TYPICAL BALAZS TRACK SUPPORT AT 3RD FLOOR
SCALE: 3/4" = 1'-0"



BLOCK-UP DETAIL
SCALE: 3/8" = 1'-0"



MASONRY SPLICE DETAIL
SCALE: 1/2" = 1'-0"

GROUND FLOOR SLAB NOTES:

1- FLOOR SLAB WAS A 4" CONC. SLAB ON GELL COMPACTED FILL OVER A POLYETHYLENE VAPOR BARRIER.
REINF. (6" MAX. = 6 X 6 / 4 - 10)(F. FLOW) LAPPED 6" MIN. (SHS SHOULD BE PLACED 2" BELOW THE TOP OF THE SLAB IN ORDER TO BE EFFECTIVE)
2- PROVIDE SAW CUT JOINTS (C.J.) AS INDICATED ON PLAN
3- COORDINATE ALL FLOOR SLOPES AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS.
COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
4- CENTERLINE OF COLUMN OR WALL IS CENTERLINE OF FOOTING. (TYP.)
5- TOP OF FOOTING ELEVATION: (MONOLITHIC)
(AS PER FBC 1816.4.5 TOP OF PERIMETER FOOTINGS SHALL BE A MIN. OF 8" BELOW FINISH GRADE)

MASONRY NOTES:

1- PROVIDE # 9 GA. LADDER TYPE HORIZONTAL MASONRY REINF. @ 16" O/C. IN ALL MASONRY WALLS. (U.O.N.)
2- SPLICE VERTICAL MASONRY WALL REINFORCEMENT 48 BAR DIAMETERS AS FOLLOWS: FOR # 5 BARS: 30"
3- AT EITHER SIDE OF OPENINGS BETWEEN 3'-0" AND 4'-0" INCLUSIVE, PROVIDE 2 # 5 VERT. IN GROUTED CELL (U.O.N.) FOR OPENINGS FROM 4'-0" TO 6'-6"
4- ALL MASONRY IN THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE W/ ACI 530-07 AND THE FLORIDA BUILDING CODE.
ALL MASONRY IN THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH ACI 530.1-02.
5- MASONRY UNITS TO COMPLY WITH ASTM C-90 AND HAVE A MIN F'M AND A NET AREA COMPRESSIVE STRENGTH (N.A.C.S.) AS FOLLOWS: FOUNDATION TO THIRD FLOOR, F'M=2000 PSI AND N.A.C.S.=2800 PSI.
THIRD FLOOR TO FUL ROOF, F'M = 1500 PSI AND N.A.C.S. = 1900 PSI.
CONTRACTOR MUST PROVIDE WRITTEN CONFIRMATION FROM THE MASONRY MANUF. OF THE ABOVE REQUIREMENTS.
6- GROUT TO HAVE A MIN F'C=3000 PSI AT 28 DAYS WITH A SLUMP OF 8" +/- 1" AND TO BE POURED IN 4'-0" LIFTS.
7- USE BAR SPACERS /POSITIONERS TO MAINTAIN MASONRY REINF. IN PROPER LOCATION AND VERTICAL ALIGNMENT.
8- PROVIDE STANDARD HOOKS AT FOUNDATIONS AND TOP TIE BEAM.

CAUTION: DO NOT SCALE DRAWINGS. DIMENSIONS NOTED ON PLAN CONTROL OVER SCALE AND MUST BE COORDINATED WITH ARCHITECTURAL DWGS.

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSTRUED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

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Inc. No. P07000 Inc. No. P07000
LB-3161

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Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-0001804

INTERIOR ALTERATIONS FOR
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL 33166 Phone: (305) 887-9541

REVISIONS	BY
△ BLDG. DEPT. 09-09-14	PJC

WE VALID FOR CONSTRUCTION UNLESS SIGNED & SEALED BY THE RESPONSIBLE ARCHITECT OR ENGINEER AS NOTED ON EACH SHEET.

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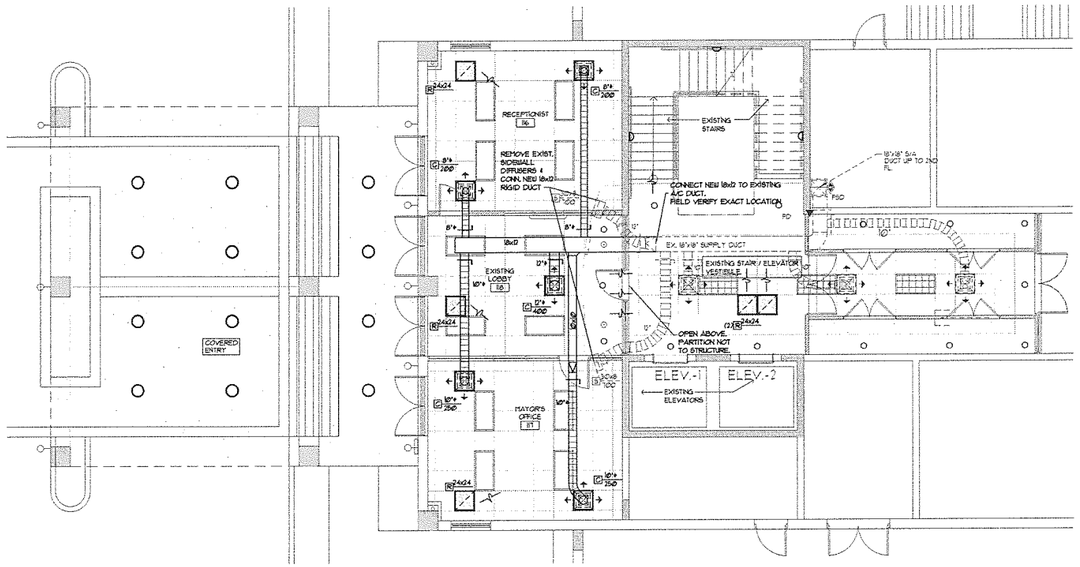
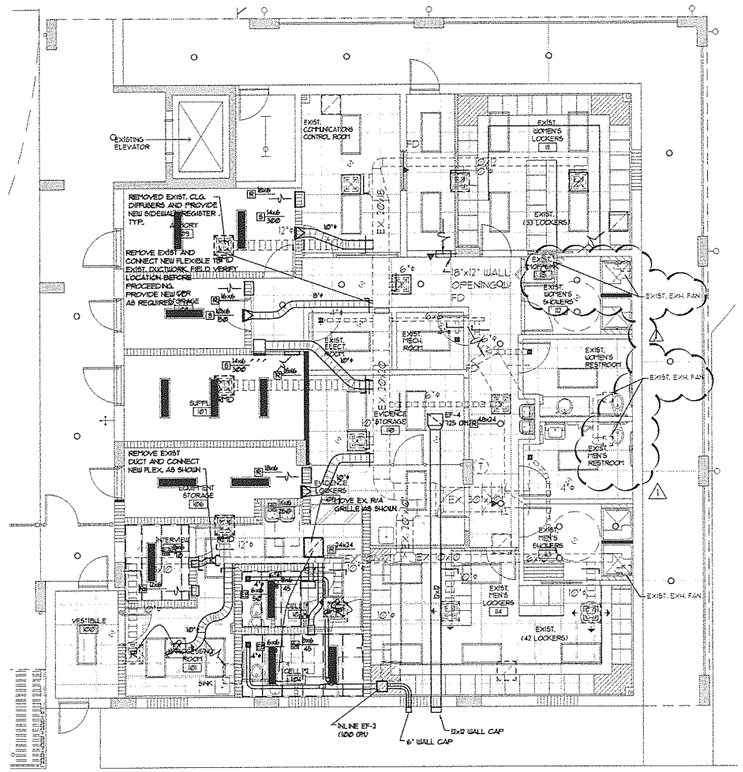
Of	Sheets



Lobby Area - HVAC Plan 3/16"
Ground Floor

NORTH

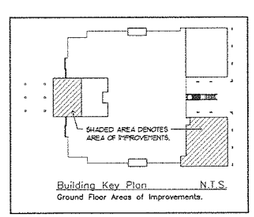


Police Sub-Station - HVAC Plan 3/16"
Ground Floor

NORTH

HVAC LEGEND & SYMBOLS

- EXIST. CLG DIFFUSER TO REMAIN
- EXIST. R/A OR EXH. REGISTER TO REMAIN
- NEW MODULAR S/A CLG. DIFFUSER AND NECK SIZE
- NEW MODULAR R/A CLG. DIFFUSER
- NEW SIDEWALL DIFFUSER, NECK SIZE AND CFM
- EXIST. INSULATED GLASS FIBER DUCT TO REMAIN
- NEW INSULATED GLASS FIBER DUCT
- EXIST. INSULATED FLEXIBLE DUCT
- NEW INSULATED FLEXIBLE DUCT
- EXIST. VAV BOX
- NEW VAV BOX
- EXISTING THERMOSTAT
- NEW THERMOSTAT
- NEW FIRE DAMPPER
- EXIST. S/A DIFFUSER TO BE REMOVED
- EXIST. R/A REGISTER TO BE REMOVED
- EXIST. S/A CLG. DIFFUSER TO BE RELOCATED
- EXIST. R/A REGISTER TO BE RELOCATED
- RELOCATED R/A REGISTER
- RELOCATED S/A CLG. DIFFUSER



Building Key Plan N.T.S.
Ground Floor Areas of Improvements.

Rodriguez Pereira Architects, Inc.
Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001804
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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-9541

REVISIONS	BY
05-05-14 BID. COORD. COMM.	RR

ANTONIO FRANYIE LICENSE No. 11640 STATE OF FLORIDA PROFESSIONAL ENGINEER
MAY 20 2014

May 20, 2014

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEALED. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ANTONIO FRANYIE, PE #11640

Date
Scale
Drawn
Job
Sheet
M-1
of 4 Sheets

FRANYIE ENGINEERS, INC.
ANTONIO FRANYIE PE #11640 MECH.
MIGUEL PEREZ, PE #66881 E.
Certificate of Authorization # 00002308
10810 SW 22 Street Miami, FL 33174
TEL: (305) 227-0001 FAX: (305) 227-0071

DESIGN: DRAWN: DATE:
VF/MP/VF/MP 04/28/14
JOB NUMBER 13-222

VENTILATION EQUIPMENT SCHEDULE

DESIGNATION	SEF-1	EF-2	EF-3	EF-4
QUANTITY (VERIFY)	1	1	SEE PLAN	EVID. STO.
USE	SMOKE EVAC.	EXHAUST	EXHAUST	EXHAUST
LOCATION	ROOF	CLG.	CLG.	CLG.
AREA SERVED		RESTROOM	SEE PLANS	SEE PLANS
MANUFACTURER	GREENHECK	GREENHECK	GREENHECK	GREENHECK
MODEL NO.	CUBE-420-75	CSP-B110	SP-B350	CSP-A180
FAN				
TYPE	CENTRIFUGE	CENTRIFUGE INLINE	CENTRIFUGE	CENTRIFUGE
DRIVE	BELT DRIVE	BELT DRIVE	BELT DRIVE	BELT DRIVE
AIR FLOW (C.F.M.)	2000	180	540	725
EXTERNAL STATIC PRESSURE (" H_2O)	1.0	0.25	0.75	0.25
FAN SPEED (R.P.M.)	581	950	625	1600
FAN SOUND RATINGS, SONES	23.0	1.5	15	8.0
MOTOR				
TYPE	ODP	ODP	ODP	ODP
HORSEPOWER	1 1/2	80.2 WATTS	38 WATTS	348 WATTS
FULL LOAD AMPS.	1.0	-	-	-
ELECTRICAL SERVICE AVAILABLE	480/3/60	115/1/60	115/1/60	115/1/60
STARTER TYPE	MANUAL	LITE SWITCH	LITE SWITCH	MANUAL
STARTER FURNISHED BY	MECH. CONT.	ELECT. CONT.	ELECT. CONT.	ELECT. CONT.
GENERAL DATA				
LOCATION	ROOF	CLG.	CLG.	CLG.
MASONRY OPENING REQUIRED, SEE NOTE 1	44.5"x44.5"	SEE PLAN	SEE PLAN	SEE PLAN
OPERATING WEIGHT	500	10	9	10
ACCESSORIES				
FACTORY CURB	YES	N/A	N/A	N/A
SERVICE SWITCH	YES	YES	YES	YES
BACKDRAFT DAMPER	YES	YES	YES	YES
WALL BOX	N/A	N/A	N/A	N/A
WALL MOUNTING COLLAR	N/A	N/A	N/A	N/A
OSHA MOTOR SIDE GUARD	N/A	N/A	N/A	N/A
S.S. BIRD SCREEN	YES	YES	N/A	N/A
WEATHER HOOD - INTAKE & EXHAUST	N/A	N/A	N/A	N/A
DAMPER GUARD	N/A	N/A	N/A	N/A
REAR GUARD	N/A	N/A	N/A	N/A
ROOF-JACK	N/A	YES	YES	YES
ROOF-CAP	N/A	N/A	N/A	N/A
GOOSENECK	N/A	N/A	N/A	N/A
VIBRATION ISOLATORS		N/A		
TYPE	N/A	N/A	N/A	N/A
MINIMUM STATIC DEFLECTION (INCH.)	N/A	N/A	N/A	N/A
AUTOMATIC CONTROLS				
TYPE	N/A	N/A	N/A	N/A
DESCRIPTION				

NOTES:

1- ROOF AND/OR MASONRY OPENING SHOWN ARE FOR REFERENCE ONLY. PROVIDE ROOF OPENINGS PER APPROVED EQUIPMENT SHOP DRAWINGS.

AIR DISTRIBUTION SCHEDULE

DESIGNATION	C	D	B	BS	R	E	ES
USE	SUPPLY	SUPPLY	SUPPLY	CELL SUPPLY	RETURN	EXHAUST / RETURN	CELL EXHAUST
CONSTRUCTION	ALUMINUM	ALUMINUM	ALUMINUM	STEEL	ALUMINUM	ALUMINUM	ALUMINUM
CAPACITY (C.F.M.)	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS
SIZE	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS
TYPE	SQUARE CLG. DIFF.	SQUARE CLG. DIFF.	3/4" BLADE SPACING	SIDEWALL		24" x 24" MODULAR	SQUARE CLG. RETURN
COMMENTS :	24"x24" MODULAR CEILING DIFFUSER ROUND NECK	DIRECTIONAL CEILING DIFF.	DOUBLE DEFLECTION SIDEWALL DIFFUSER	10- GAUGE STEEL WITH 3/16 INCH SQ. HOLE	EGGCRATE FILTER RETURN REGISTER	EGGCRATE	10- GAUGE STEEL WITH 3/16 INCH SQ. HOLE
FINISH	ALL ALUMINUM	ALL ALUMINUM	ALL ALUMINUM	STEEL		ALL ALUMINUM	STEEL
MOUNTING TYPE	T - BAR	T - BAR	DUCT	DUCT	T - BAR	T - BAR	T - BAR
NOISE CRITERIA	20 MAX	20 MAX	20 MAX	20 MAX		20 MAX	20 MAX
MANUFACTURER	TITUS	TITUS	TITUS	TITUS	TITUS	TITUS	TITUS
MODEL	TMS-AA	TDC-AA	300 FL or FB	50-L20	50 FF	50 F	50-L2F
ACCESSORIES							
VOLUME CONTROL DAMPER	OBD @ BRANCH	OBD @ BRANCH	OBD @ BRANCH	OBD @ BRANCH	-	-	-
CONNECTION SIZE	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS	SHOWN ON PLANS
BACKDRAFT DAMPER	-	-	-	-			-
MOTORIZED DAMPER	-	-	-	-	-	-	-
LINED METAL PLENUM BOX	-	-	-	-	-	-	-

NOTES :

1. FINISHES AND TYPES OF MOUNTS SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS.
2. PROVIDE BACKDRAFT DAMPER TO LOUVER SERVING TOILET DISCHARGE ONLY.
3. PROVIDE OB. DAMPER AT ALL SUPPLY OUTLETS.
4. AIR PATTERN AND DIFFUSER FACE SHOWN ON PLANS.

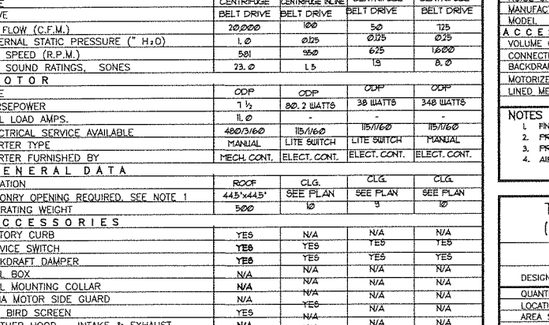
TERMINAL UNIT SCHEDULE (PRESSURE INDEPENDENT)

PERIMETER		REMARKS
DESIGNATION VAV-#		
QUANTITY (VERIFY-PROVIDE PER PLANS)	SEE PLAN	
LOCATION	PERIMETER	
AREA SERVED	2ND FLOOR	
OPERATING WEIGHT	--	
MANUFACTURER (**)	METALAIRE	
MODEL No.	FVI-3000-D	
GENERAL DATA		
TYPE	FPI (1)	
MAXIMUM DESIGN AIR FLOW, CFM	1350	
MINIMUM DESIGN AIR FLOW, %	25	
MAXIMUM PRESSURE DROP, "H_2O	0.16	
INLET STATIC PRESSURE, "H_2O	0.5	
DESIGN SOUND LEVEL, NC	20	
INLET CONNECTION SIZE, IN.	12"	
HEATING		
ELECTRIC RESISTANCE KW	1.5	
INDUCTION FAN HP	N/A	
ELECTRICAL SERVICE AVAILABLE	277/1/60 (1)	
ACCESSORIES		
R/A PLENUM FILTER	1" T.A.	
AUTOMATIC CONTROLS		
TYPE	--	
DESCRIPTION	--	

NOTES:

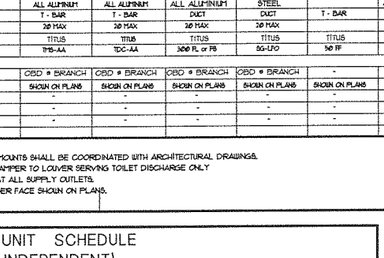
P.I. — ALL VAV BOXES ARE ELECTRONIC - PRESSURE INDEPENDENT.
F.P.I — FAN POWERED INDUCTION BOXES MODEL VFR, SIZES AS SCHEDULED (PARALLEL FLOW) FAN OPERATES ON HEATING CYCLE ONLY PROVIDE WITH FAN SPEED CONTROL (SCR) (SOFT START) (PARALLEL FLOW) FAN OPERATES ON HEATING CYCLE ONLY

(1) PROVIDE WITH 277/120 TRANSFORMER FOR ELECTRICAL SERVICE.
(2) FAN PERFORMANCE SELECTED @ MAXIMUM CFM @ 0.25 ESP. PROVIDE FILTER SECTION W/ FILTER ON FPI.
(3) PROVIDE DISPOSABLE FILTERS FOR FPI DURING CONSTRUCTION PERIOD. REPLACE ALL FILTERS AT COMPLETION OF TEST & BALANCE.
(4) SELECT FAN CFM AT MINIMUM DESIGN PER FLOW CAPABLE OF MORNING WARM-UP OPERATION SINGLE POWER CONNECTION W/ DISCONNECT.

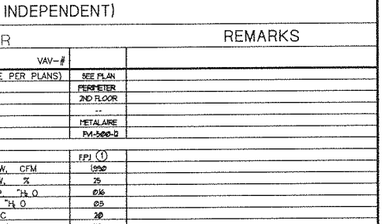


TYPICAL FAN POWERED V.A.V. BOX CONTROLLER

NTS



Fan Power With Modulating Heat Sequence Diagram



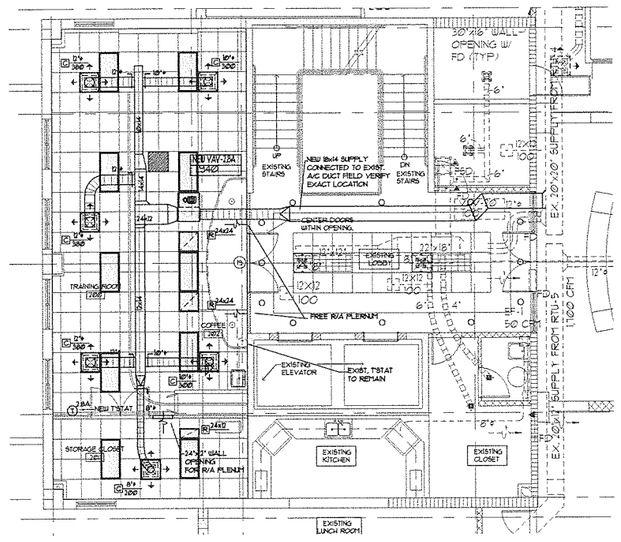
Space Temperature Sensor Detail

VAV W/ PARALLEL INDUCTION FAN FLOW DIAGRAM

SYMBOL LEGEND

SYMBOL	(*) METALAIRE PART #	DESCRIPTION
EPIC	--	ELECTRONIC PRESSURE INDEPENDENT CONTROLLER
M	--	120 VAC VAV BOX DAMPER ACTUADOR
FHMN	--	FAN/HEAT INTERFACE CONTROL MODULE, MODULANTING HEAT
HMM	--	HEAT ONLY INTERFACE CONTROL MODULE, MODULANTING HEAT
FHMA	--	FAN/HEAT INTERFACE CONTROL MODULE, 2-STAGE HEAT
TSI	--	2" SQUARE LOW PROFILE ELECTRONIC THERMOSTAT
EDH	--	ELECTRONIC DUCT HEATER
SSR	--	ELECTRONIC DUCT HEATER MODULANTING CONTACTOR
CONT.	--	PARALLEL FAN CONTACTOR COIL
C1,2	--	ELECTRIC HEAT CONTACTOR COILS

* OR EQUAL

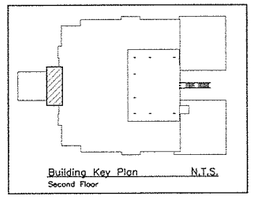


HVAC
Training Room
Second Floor

3/16' NORTH

HVAC LEGEND & SYMBOLS

- EXIST. CLG DIFFUSER TO REMAIN
- EXIST. R/A OR EXH. REGISTER TO REMAIN
- NEW MODULAR S/A CLG. DIFFUSER AND NECK SIZE
- NEW MODULAR R/A CLG. DIFFUSER
- NEW SIDEWALL DIFFUSER, NECK SIZE AND CFM
- EXIST. INSULATED GLASS FIBER DUCT TO REMAIN
- NEW INSULATED GLASS FIBER DUCT
- EXIST. INSULATED FLEXIBLE DUCT
- NEW INSULATED FLEXIBLE DUCT
- EXIST. VAV BOX
- NEW VAV BOX
- EXISTING THERMOSTAT
- NEW THERMOSTAT
- NEW FIRE DAMPER
- EXIST. S/A DIFFUSER TO BE REMOVED
- EXIST. R/A REGISTER TO BE REMOVED
- EXIST. S/A CLG. DIFFUSER TO BE RELOCATED
- EXIST. R/A REGISTER TO BE RELOCATED
- RELOCATED R/A REGISTER
- RELOCATED S/A CLG. DIFFUSER



Building Key Plan N.T.S.
Second Floor

Architecture
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Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001934

Rodriguez Pereira Architects, Inc.
8000 NW 7th Street - Suite 103 - Miami, FL 33126
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INTERIOR ALTERATIONS FOR:

The Town of Medley - Florida

Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-9541

REVISIONS	BY

ANTONIO FRANYIE LICENSE NO. 11040 STATE OF FLORIDA PROFESSIONAL ENGINEER

May 20 2014

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ANTONIO FRANYIE, P.E. ON MAY 20 2014 USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

MAY 20 2014

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Job	
Sheet	M-2
of 4 Sheets	

FRANYIE ENGINEERS INC.
ANTONIO FRANYIE, P.E. #11040 MECH.
RONALD FRANYIE, P.E. #34009 E.E.
Certificate of Authorization # 00003908
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TEL: (305) 592-8045 FAX: (305) 364-0175
WWW.FRANYIEENGINEERS.COM
E-MAIL: INFO@FRANYIEENGINEERS.COM

DATE 5/14/14
JOB NUMBER 13-222

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ANTONIO FRANYIE, P.E. ON MAY 20 2014 USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

HVAC NOTES

1.0 GENERAL

1.1 PROVIDE (FURNISH AND INSTALL) ALL NECESSARY MATERIALS AND LABOR FOR A COMPLETELY OPERATIONAL HEATING, VENTILATING AND AIR CONDITIONING (HVAC) SYSTEM AS DEPICTED ON THESE CONTRACT DOCUMENTS.

1.2 INSTALL IN ACCORDANCE WITH THE SOUTH FLORIDA CODE, ASHRAE SMACNA, NFPA AND LOCAL ORDINANCES.

1.3 SCOPE OF WORK :
PROVIDE THE FOLLOWING COMPLETE SYSTEMS :
A. AIR CONDITIONING SUPPLY AND RETURN DUCT SYSTEM.
B. EXHAUST SYSTEM FOR TOILET ROOMS.
C. EXHAUST SYSTEMS FOR WAREHOUSE.
D. AIR CONDITIONING UNITS AND CONTROLS.
E. INDEPENDENT TEST AND BALANCE.

1.4 NOT USED

1.5 PAY FOR ALL FEES, INSPECTIONS AND CONNECTION CHARGES REQUIRED

1.6 VERIFY AT JOB SITE ALL SPACE CONDITIONS AVAILABLE FOR THE INSTALLATION OF MATERIALS AND EQUIPMENT PRIOR THE INSTALLATION OF EQUIPMENT AND FABRICATION OF DUCTS AND PIPING SYSTEMS, COORDINATE SPACE REQUIREMENTS FOR SERVICE AND MAINTENANCE AND COORDINATE INTERFERENCE WITH OTHER TRADES.

1.7 NATURE OF DESIGN DRAWINGS: DESIGN DRAWINGS ARE DIAGRAMMATIC AND DO NOT INTEND TO SHOW EVERY FITTING, ELBOW, TRANSITION, ETC. THAT WILL BE NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEMS REQUIRED BY THESE SPECIFICATIONS.

1.8 COORDINATION DRAWINGS: PREPARE 1/4" SCALE (MIN.) COORDINATION DRAWINGS SHOWING DUCTWORK, PIPING AND ALL MAJOR SYSTEM COMPONENTS FOR A/E APPROVAL BEFORE PROCEEDING WITH THE INSTALLATION. IMPLEMENT ALL INFORMATION FROM 1.6 ABOVE.

1.9 SUBMIT SHOP DRAWINGS FOR A/E APPROVAL BEFORE PROCEEDING WITH THE THE PURCHASE OR INSTALLATION OF EQUIPMENT AND MATERIALS.
ALL SHOP DRAWINGS MUST BE SUBMITTED IN A SINGLE BOUND AND INDEXED PACKAGE NO LATER THAN 30 DAYS FROM THE ADJUDICATION OF THE PROJECT.

1.10 GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP FOR A A PERIOD OF ONE YEAR FROM THE DATE OF PROJECT ACCEPTANCE.

2.0 MATERIALS

2.1 DUCTWORK

2.1.1 GENERAL: ALL DUCT SIZES SHOWN ARE CLEAR INSIDE DIMENSIONS.

2.1.2 DUCTWORK MATERIALS:
A: GENERAL OFFICE AREAS:
FIVE POUNDS DENSITY 1.5" THICK GLASS FIBER (R-6) DESIGNED, CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH SMACNA'S FIBROUS GLASS DUCT CONSTRUCTION STANDARDS. DUCT JOINTS SHALL BE SEALED AND TAPED.
B: TOILET ROOM EXHAUST AND FRESH AIR INTAKES:
GALVANIZED SHEET METAL, CONSTRUCTED, AND INSTALLED ACCORDING TO LATEST EDITION OF SMACNA'S. LOW PRESSURE CONSTRUCTION STD. (0.5" W.G.)

2.1.3 PROVIDE DOUBLE THICKNESS TURNING VANES AT ALL SQUARE ELBOWS. WHERE THE ELBOWS ARE RECTANGULAR INSTALL SINGLE THICKNESS VANES.
.1 ALTERNATE A: PROVIDE 3-PIECE ELBOWS IN LIEU OF TURNING VANES FOR GLASS FIBER DUCTS ONLY.
.2 ALTERNATE A: PROVIDE FULL RADIOS ELBOWS IN LIEU OF TURNING VANES.

2.1.4 PROVIDE VOLUME EXTRACTORS BEHIND EACH SUPPLY OUTLET AND AT EACH DUCT BRANCH.

D: CORRIDORS SUPPLY AIR RISER & ALL VERTICAL RISERS

1. DUCT IN SHAFT:
CONSTRUCT OF GALVANIZED SHEET METAL IN ACCORDANCE WITH SMACNA PRESSURE RATING OF 3" W.G. INSULATE WITH 1½" GLASSFIBER THERMAL BLANKET WITH APPROVED FRJ REINFORCE ALUMINUM JACKED. SEAL AIR TIGHT ALL JOINT WITH APPROVED HIGH VELOCITY MASTIC.

2 NOT USED

3. MAIN SUPPLY AIR DUCTS IN VAV SYSTEMS

3.1 UPSTREAM OF VAV BOXES:
CONSTRUCT OF GALVANIZED SHEET METAL IN ACCORDANCE WITH SMACNA PRESSURE RATING OF 3" W.G. INSULATE WITH 1½" GLASSFIBER THERMAL BLANKET WITH APPROVED FRJ REINFORCE ALUMINUM JACKED. SEAL AIR TIGHT ALL JOINT WITH APPROVED HIGH VELOCITY MASTIC.

3.2 DOWNSTREAM OF VAV BOXES:
FIVE POUND DENSITY 1.5" THICK GLASS FIBER (R-6) DESIGNED, CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH SMACNA'S LOW PRESSURE DUCT MANUAL. ALL DUCT JOINTS SHALL BE SEALED AND TAPED.

2.2 NOT USED.

2.3 NOT USED.

2.4 AIR DISTRIBUTION PRODUCTS :
2.4.1 PROVIDE EXTRUDED ALL ALUMINUM AIR DISTRIBUTION PRODUCTS.
2.4.2 PROVIDE SUPPLY AND RETURN GRILLES AND DIFFUSERS AS INDICATED ON THE DRAWINGS AND SCHEDULES.
2.4.3 PROVIDE FINISHES AND TYPES OF MOUNT IN COORDINATION WITH THE CEILING TYPES AS SHOWN ON ARCHITECTURAL DRAWINGS.
2.4.4 PROVIDE OPPOSED BLADE, KEY OPERATED DAMPERS BEHIND ALL AIR SUPPLY OUTLETS.

2.5 PROVIDE A MINIMUM 5 YEAR WARRANTY FOR ALL AIR CONDITIONING COMPRESSORS STARTING FROM THE DATE OF PROJECT ACCEPTANCE.

2.6 CONTROLS:
2.6.1 GENERAL: PROVIDE THE NECESSARY AUTOMATIC CONTROLS FOR PROPER OPERATION OF ALL EQUIPMENT SPECIFIED HEREIN. FURNISH MAGNETIC STARTERS AND INTERLOCK WIRING INDICATED FOR EACH PIECE OF EQUIPMENT.
2.6.2 OFFICE AREA DX EQUIPMENT:
PROVIDE AIR CONDITIONING UNITS WITH MATCHING LOW VOLTAGE HEAT/COOL THERMOSTATS WITH ON-OFF AUTO SUB-BASE SWITCH AS FURNISHED BY THE EQUIPMENT MANUFACTURER.

2.7 STARTERS:
PROVIDE MAGNETIC STARTER FOR ALL MECHANICAL EQUIPMENT IN THIS SECTION AS DESCRIBED ON THE EQUIPMENT SCHEDULES. ALL STARTERS MUST HAVE HAND-OFF-AUTO POSITION SWITCH ON THE COVER AND RED/GREEN PILOT LIGHTS. PROVIDE THE NECESSARY AUXILIARY OPEN AND CLOSED CONTACTS FOR THE INTENDED OPERATION AND INTERLOCKS.

2.8 NOT USED.

2.9 IDENTIFICATION:
2.9.1 LABEL ALL EQUIPMENT WITH ENGRAVED BLACK PLASTIC PLAQUES 12"x4" HIGH WITH WITH 1.5" LETTERS. USE THE SAME NOMENCLATURE AS IN THESE DOCUMENTS.

3.0 EXECUTION

3.1 INSTALL ALL EQUIPMENT AND MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S MANUALS AND RECOMMENDATIONS, PAYING SPECIAL ATTENTION TO REQUIRED CLEARANCES FOR INSTALLATION, OPERATION & SERVICE. FOR INSTALLATION, OPERATION AND SERVICE.

3.2 THERMOSTAT LOCATION.
THERMOSTAT LOCATION IS CRITICAL TO PROPER EQUIPMENT OPERATION. INSTALL THERMOSTAT AT LOCATIONS SHOWN ON PLANS. RELOCATE ONLY WHEN APPROVED BY THE A/E IN WRITING.

3.3 WHERE R/A IS PROPOSED BY WAY OF DOOR UNDERCUTS, PROVIDE A MINIMUM 1" CLEAR SPACE BETWEEN THE BOTTOM OF THE DOOR AND THE FLOOR FINISH CARPET OR TILE.

3.4 EQUIPMENT MUST OPERATE FREE OF OBJECTIONABLE NOISE AND VIBRATION REPAIR AND/OR REPLACE ALL SOURCES OF NOISE AND VIBRATION FOUND TO BE OBJECTIONABLE, TO THE SATISFACTION OF THE A/E.

3.5 BALANCE ALL SYSTEMS TO PROVIDE AIR AND WATER QUANTITIES AND CAPACITIES TO MATCH SPECIFIED FLOWS & CAPACITIES.
CALIBRATE FLOWS TO NEW EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. SUBMIT FINAL TEST AND BALANCE REPORT TO A/E FOR ACCEPTANCE.

3.6 STRICTLY FOLLOW ALL MANUFACTURER'S INSTALLATION MANUALS AND INSTRUCTIONS IN THE INSTALLATION OF ALL EQUIPMENT.
OBTAIN, FROM EACH MANUFACTURER, PROPER CERTIFICATION FOR THE ADEQUACY OF THE INSTALLATION OF ALL PIECES OF EQUIPMENT BEFORE PLACING SYSTEM IN OPERATION.

3.7 PROVIDE MAINTENANCE AND OPERATION MANUAL

3.8 PROVIDE AS-BUILT REPRODUCIBLE DRAWINGS.

3.9 PROVIDE INSTRUCTION TO OWNER'S DESIGNATED PERSONNEL.

NOTES:

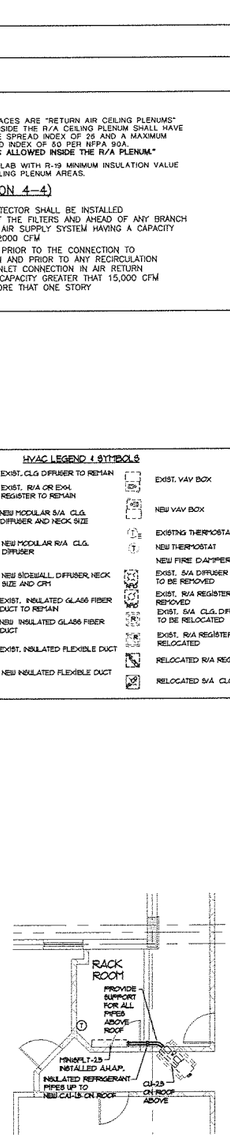
1. WHEN CEILING SPACES ARE "RETURN AIR CEILING PLENUMS" ALL MATERIALS INSIDE THE R/A CEILING PLENUM SHALL HAVE A MAXIMUM FLAME SPREAD INDEX OF 25 AND A MAXIMUM SMOKE DEVELOPED INDEX OF 50 PER NFPA 90A. **"NO PVC PIPING IS ALLOWED INSIDE THE R/A PLENUM."**
2. INSULATE ROOF SLAB WITH R-19 MINIMUM INSULATION VALUE FOR ALL R/A CEILING PLENUM AREAS.

NFPA 90A (SECTION 4-4)

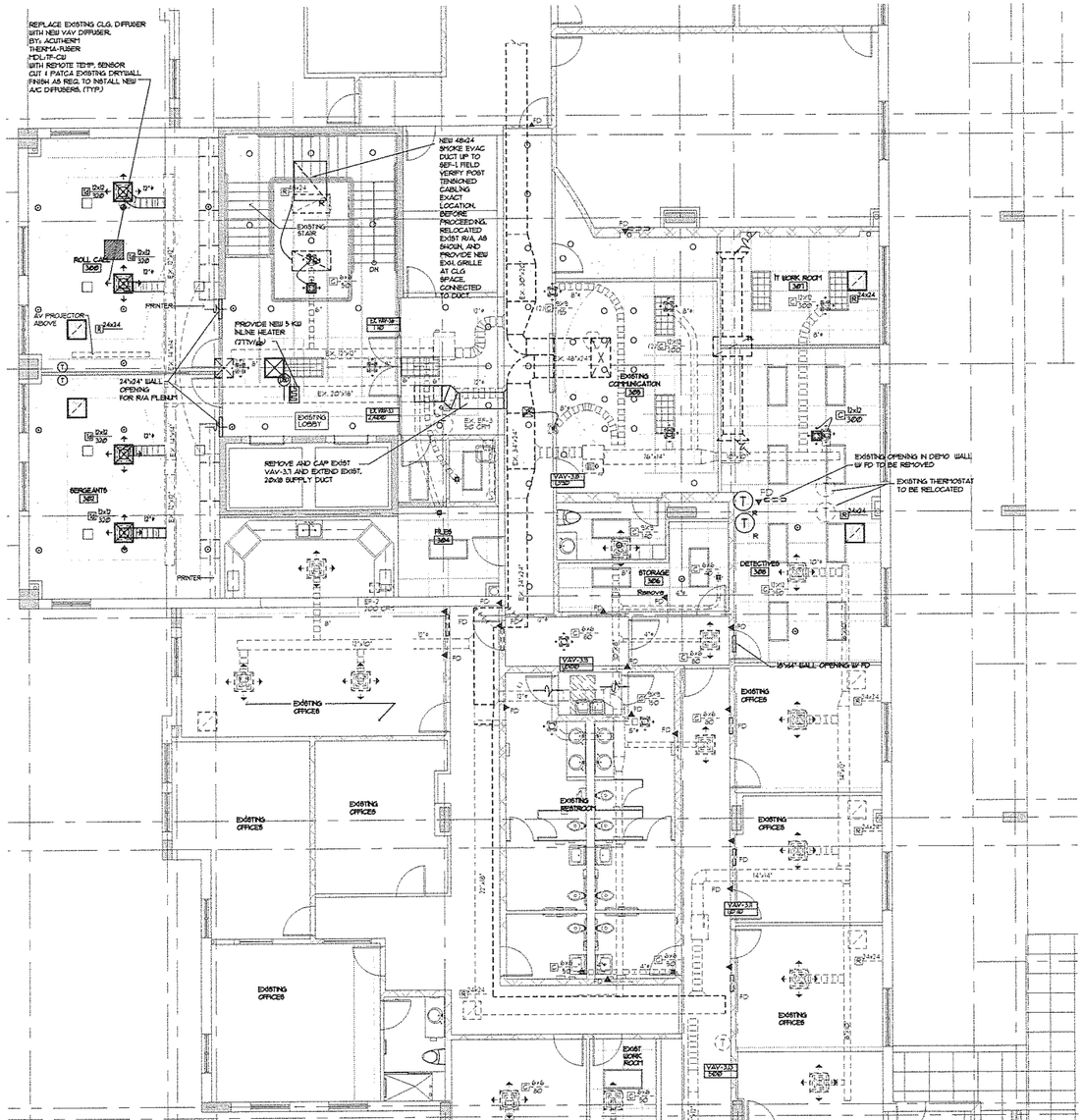
1. DUCT SMOKE DETECTOR SHALL BE INSTALLED DOWNSTREAM OF THE FILTERS AND AHEAD OF ANY BRANCH CONNECTION IN AIR SUPPLY SYSTEM HAVING A CAPACITY GREATER THAT 2000 CFM
2. AT EACH STORY PRIOR TO THE CONNECTION TO COMMON RETURN AND PRIOR TO ANY RECIRCULATION OR FRESH AIR INLET CONNECTION IN AIR RETURN SYSTEM HAVING CAPACITY GREATER THAT 15,000 CFM AND SERVING MORE THAT ONE STORY

HVAC LEGEND (SYMBOLS

- EXIST. CLG DIFFUSER TO REMAIN
- EXIST. R/A OR EXH. REGISTER TO REMAIN
- NEW MODULAR S/A CLG. DIFFUSER AND NECK SIZE
- NEW MODULAR R/A CLG. DIFFUSER
- NEW SIDEWALL DIFFUSER, NECK SIZE AND CFM
- EXIST. INSULATED GLASS FIBER DUCT TO REMAIN
- NEW INSULATED GLASS FIBER DUCT
- EXIST. INSULATED FLEXIBLE DUCT
- NEW INSULATED FLEXIBLE DUCT
- EXIST. VAV BOX
- NEW VAV BOX
- EXISTING THERMOSTAT
- NEW THERMOSTAT
- NEW FIRE DAMPPER
- EXIST. S/A DIFFUSER TO BE REMOVED
- EXIST. R/A REGISTER TO BE REMOVED
- EXIST. S/A CLG. DIFFUSER TO BE RELOCATED
- EXIST. R/A REGISTER TO BE RELOCATED
- RELOCATED R/A REGISTER
- RELOCATED S/A CLG. DIFFUSER

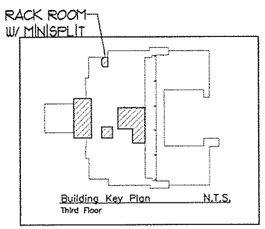


Rack Server Room - HVAC Plan 3/16'
Third Floor



Enlarged Third Floor - HVAC Plan 3/16'
Third Floor

NORTH



Building Key Plan N.T.S.
Third Floor

Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-0001984

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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
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Medley, FL. 33166 Phone: (305) 887-9541

REVISIONS	BY
1 25-15-14 REV SCOPE	VF

May 20, 2014

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEALED BY THE ARCHITECT OF RECORD. ANY UNAUTHORIZED CHANGES OR USES ARE THE RESPONSIBILITY OF THE PERSON MAKING THEM.

ANTONIO FRAYNE P.E. FLORIDA REG. NO. 41640 STATE OF FLORIDA PROFESSIONAL ENGINEER

MAY 20 2014

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DESIGNED	DRAWN	DATE
VF/RR	VF/RR	04/04/14

JOB NUMBER 13-222

Date	
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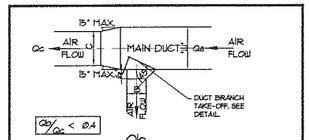
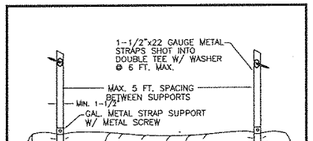
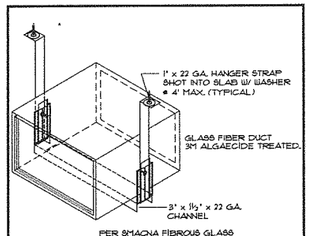


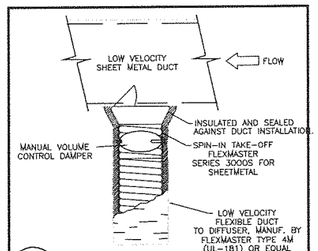
1 M-4 SMALL TAKE-OFF BRANCH TAKE-OFF AND REDUCER N.T.S.



2 M-4 INSTALL IN ACCORD W/ FMC 606.5.6.6 FLEXIBLE DUCT SUPPORT DETAIL NTS



3 M-4 FIBERGLASS HANGER DETAIL NTS



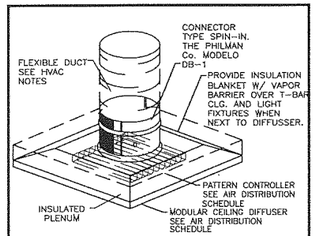
4 M-4 FLEXIBLE DUCT CONNECTION DETAIL N.T.S.

HVAC DESIGN REQUIRES:	YES	NO	Remarks
DUCT SMOKE DETECTOR	✓	-	-
FIRE DAMPER(S)	✓	-	-
SMOKE DAMPER(S)	✓	-	-
FIRE RATED ENCLOSURE	✓	-	-
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY	✓	-	-
FIRE STOPPING	✓	-	-
SMOKE CONTROL	-	✓	-

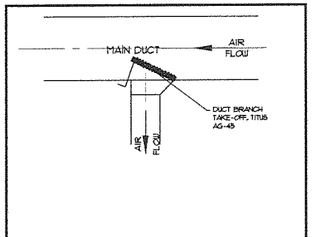
NOTE: ALL AHU'S ARE EXISTING EXCEPT FOR THE NEW MINISPLIT

A/C SPLIT SYSTEM SCHEDULE (DUCTLESS)	
DESIGNATION	MINISPLIT-25
AREA SERVED	IT RM
MANUFACTURER	MITSUBISHI
INDOOR UNIT MODEL NO.	MSY-GE36NA
OUTDOOR UNIT MODEL No.	MUY-GE36NA
COMBINED RATINGS	
SENSIBLE HEAT FACTOR/ RANGE	Ø.67/Ø.56 - .81
CAPACITY, RANGE, MBTUH	3.0 - 36.7
LATENT HEATING CAPACITY, MBTUH	3.24- 11.Ø
HEATING RATED CAPACITY, MBTUH	-
HEATING RATED CAPACITY AT 17 DEG, MBTUH	
HEATING RATED CAPACITY AT 5 DEG, MBTUH	
ENERGY EFFICIENCY RATIO, SEER	16
COEFFICIENT OF PERFORMANCE, COP	-
FAN COIL UNIT	
TYPE	HIGHWALL
TOTAL AIR SUPPLY CFM	389 - 848
OUTSIDE AIR, CFM	
ENTERING AIR CONDITIONS °Fdb/°Fwb	80 / 67
EXTERNAL STATIC PRESSURE, "H₂0	Ø.3
FAN MOTOR, HP/FLA	-/Ø.76
ELECTRICAL SERVICE AVAILABLE	115-1-60
ELECTRIC RESISTANCE HEATER SIZE, kW	-
DIMENSIONS (LxWxH) INCHS.	46x18x64
UNIT WEIGHT, lbs	40
CONDENSING UNIT	INVERTER
AMBIENT AIR TEMPERATURE, Fdb	95°F
ELECTRICAL SERVICE AVAILABLE	115-1-60
COMPRESSOR, RLA.	16. Ø
FAN, HP/RLA. (NUMB. OF FANS)	1/8-Ø.5
MINIMUM CIRCUIT AMPS	21. Ø
MAXIMUM FUSE SIZE, AMPS	25. Ø
UNIT WEIGHT, lbs	142
DIMENSIONS (WxDxH) INCHS.	46x12x54
ACCESSORIES	
REFRIGERANT	R-410A
REFRIGERANT PIPING LENGHT, ft.	SEE PLANS
LIQUID LINE TYPE, in. O.D.	SEE MANF. RECOM'D
SUCTION LINE SIZE, in. O.D.	SEE MANF. RECOM'D
THERMOSTAT	COOL. ONLY
FILTER TYPE (MERV 8)	1" THROW AWAY

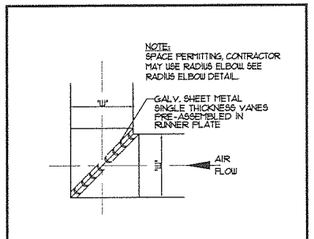
NOTE: PROVIDE A/C LIFT MECHANISM



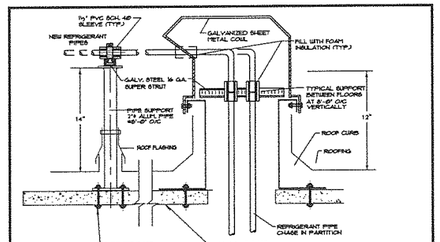
5 M-4 DIFFUSER & CONNECTOR DETAIL N.T.S.



6 M-4 DUCT BRANCH TAKE-OFF N.T.S.



7 M-4 90° SQUARE ELBOW N.T.S.

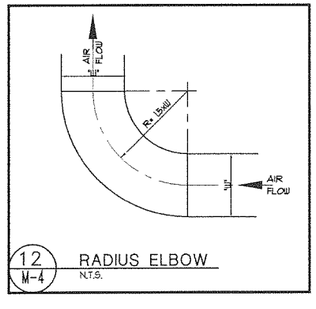


8 M-4 REFRIGERANT PIPING COWL AND SUPPORT DETAIL N.T.S.

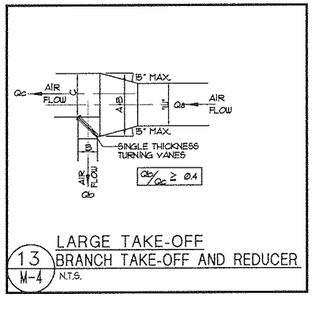
9 M-4 MAIN DUCT SPLIT N.T.S.

10 M-4 TOILET EXH FAN DET. NTS

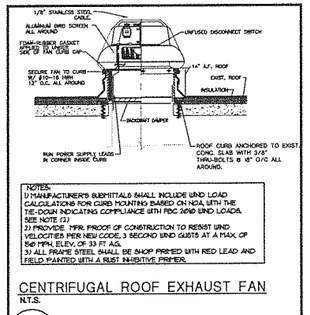
11 M-4 ROOF VENT DETAIL N.T.S.



12 M-4 RADIUS ELBOW N.T.S.



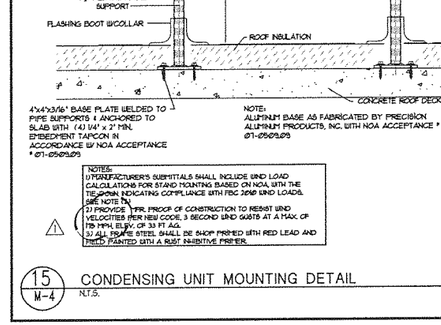
13 M-4 LARGE TAKE-OFF BRANCH TAKE-OFF AND REDUCER N.T.S.



NOTES:
1) MANUFACTURER'S SUBMITTALS SHALL INCLUDE WIND LOAD CALCULATIONS FOR CURB MOUNTING BASED ON NOA WITH THE TIE-DOWN INDICATING COMPLIANCE WITH FBC 2010 WIND LOADS. SEE NOTE (2)
2) PROVIDE TPR PROOF OF CONSTRUCTION TO RESIST WIND VELOCITIES PER NEW CODE, 3 SECOND WIND GUSTS AT A MAX. OF 148 MPH, ELEV. OF 33 FT AG.
3) ALL FRAME STEEL SHALL BE SHOP PRIMED WITH RED LEAD AND FIELD PAINTED WITH A RUST INHIBITIVE PRIMER.

CENTRIFUGAL ROOF EXHAUST FAN N.T.S.

14 M-4



NOTES:
1) MANUFACTURER'S SUBMITTALS SHALL INCLUDE WIND LOAD CALCULATIONS FOR STAND MOUNTING BASED ON NOA WITH THE TIE-DOWN INDICATING COMPLIANCE WITH FBC 2010 WIND LOADS. SEE NOTE (2)
2) PROVIDE TPR PROOF OF CONSTRUCTION TO RESIST WIND VELOCITIES PER NEW CODE, 3 SECOND WIND GUSTS AT A MAX. OF 148 MPH, ELEV. OF 33 FT AG.
3) ALL FRAME STEEL SHALL BE SHOP PRIMED WITH RED LEAD AND FIELD PAINTED WITH A RUST INHIBITIVE PRIMER.

15 M-4 CONDENSING UNIT MOUNTING DETAIL N.T.S.

16 M-4 DUCTLESS SPLIT UNIT SCHEMATIC N.T.S.

Architecture
Planning &
Urban Design
Space Planning
Interior Design
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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-9541

REVISIONS	BY
05-05-14 Δ BD. COORD. COMM.	RR

Date
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Job
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M-4
Of 4 Sheets

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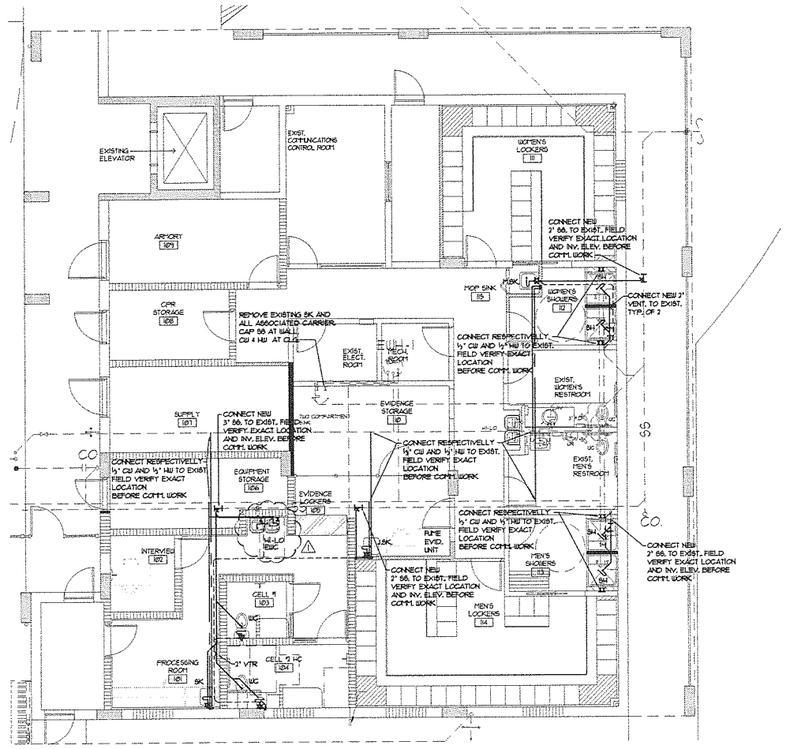
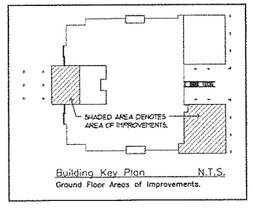
DESIGN | DRAWN | DATE
VR/RR/VF/MR | 12/12/13 | 12/12/13
JOB NUMBER 13-222

ANTONIO FRANKIE LICENSE No. 11640 STATE OF FLORIDA PROFESSIONAL ENGINEER
May 20 2014
MAY 20 2014



Police/Holding Cells - Plumbing Plan 3/16'
Ground Floor

NORTH



Building Key Plan N.T.S.
Ground Floor Areas of Improvements.

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Space Planning
Interior Design
Corp. Lic. # AA-C001594

INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
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REVISIONS	BY
05-05-14 RO. COMM.	RR

Date
Scale
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Of 3 Sheets

FRANYE ENGINEERS, INC.
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MANUEL FRANYE PE #45080 PE
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YF/RR/YF/RR 04/04/14
JOB NUMBER 13-222

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May 20, 2014 MAY 20 2014
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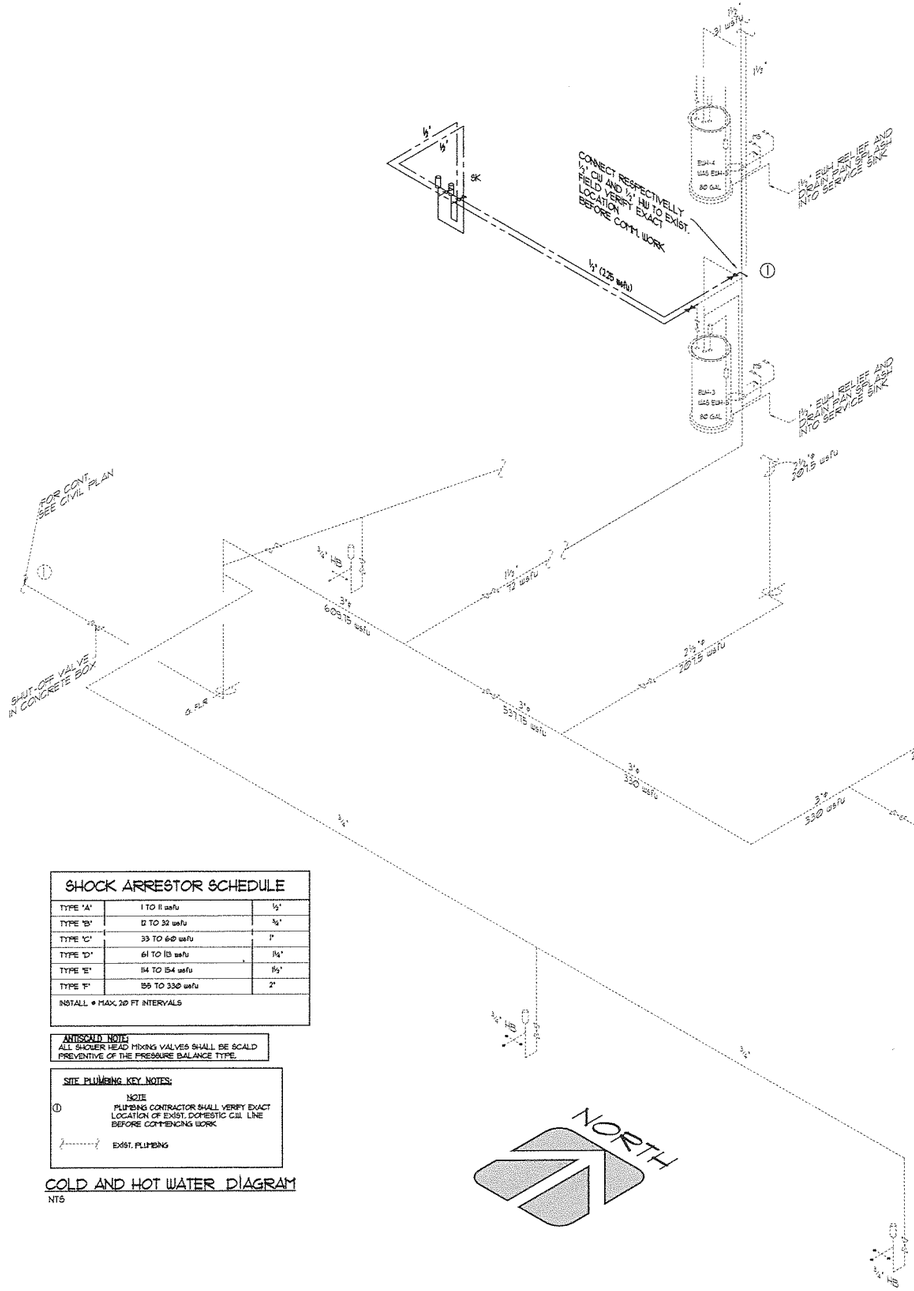
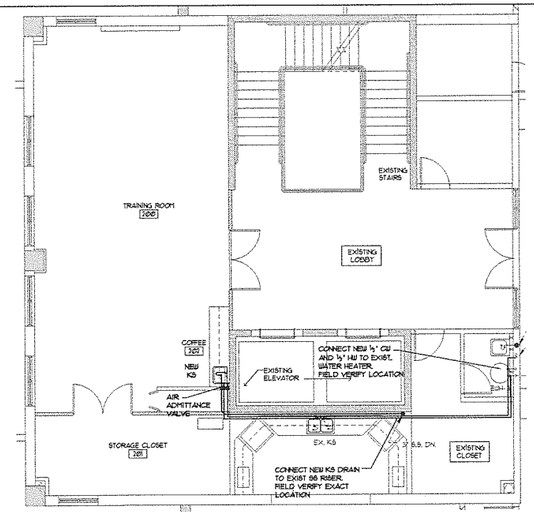
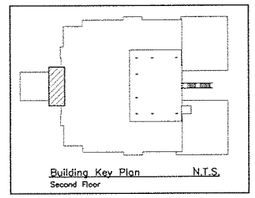


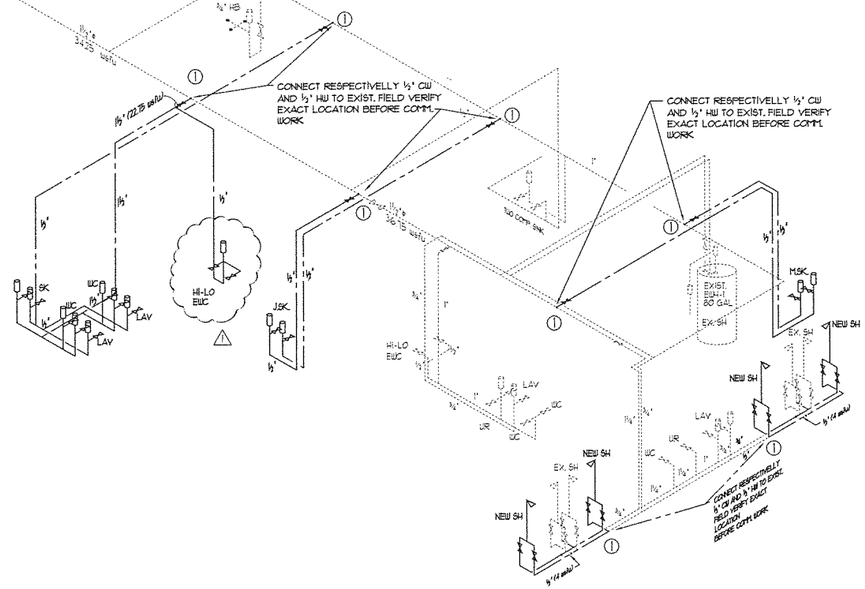


Training Room - Plumbing Plan 3/16'
Second Floor

NORTH



Building Key Plan N.T.S.
Second Floor



SHOCK ARRESTOR SCHEDULE		
TYPE 'A'	1 TO 11 WSFU	½"
TYPE 'B'	12 TO 32 WSFU	¾"
TYPE 'C'	33 TO 60 WSFU	1"
TYPE 'D'	61 TO 113 WSFU	1¼"
TYPE 'E'	114 TO 154 WSFU	1½"
TYPE 'F'	155 TO 330 WSFU	2"
INSTALL @ MAX. 20 FT INTERVALS		

ANTISCALD NOTE:
ALL SHOWER HEAD MIXING VALVES SHALL BE SCALD PREVENTIVE OF THE PRESSURE BALANCE TYPE.

SITE PLUMBING KEY NOTES:

NOTE
① PLUMBING CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXIST. DOMESTIC C.W. LINE BEFORE COMMENCING WORK

EXIST. PLUMBING

COLD AND HOT WATER DIAGRAM
NTS

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Municipal Services Facility
Owner: The Town of Medley
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REVISIONS	BY
05-05-14 ⚠1 ADD. COORD. COMM.	RR

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DESIGNED: DRAWN: CHECKED: DATE: 04/04/14
JOB NUMBER 13-222

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May 20, 2014
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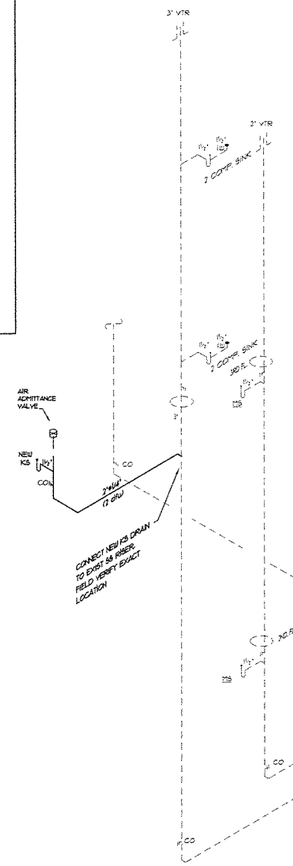

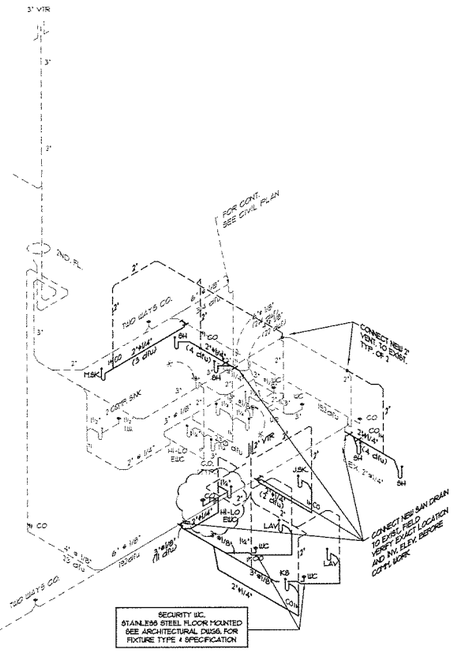

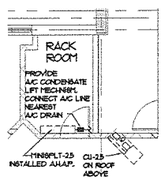

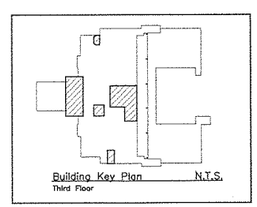

PLUMBING NOTES

1.0 GENERAL

1.1 PROVIDE (FURNISH AND INSTALL) ALL NECESSARY MATERIALS AND LABOR FOR A COMPLETELY OPERATIONAL PLUMBING SYSTEM AS SHOWN ON THE DRAWINGS AND HEREIN SPECIFIED. INSTALL IN ACCORDANCE WITH THE SOUTH FLORIDA BUILDING CODE AND LOCAL ORDINANCES.

1.2 SCOPE OF WORK :

PROVIDE THE FOLLOWING COMPLETE SYSTEMS :

A. SANITARY COLLECTION.
B. DOMESTIC COLD WATER AND HOT WATER
C. AIR CONDITIONING CONDENSATE.

1.3 PAY FOR ALL FEES, INSPECTIONS AND CONNECTION CHARGES REQUIRED .

1.4 VERIFY AT JOB SITE ALL SPACE CONDITIONS, DIMENSIONS WITH PIPE, FIXTURES, AND EQUIPMENT SIZES PRIOR TO FABRICATION OR INSTALLATION. COORDINATE REQUIREMENTS TO AVOID INTERFERENCE WITH OTHER TRADES.

1.5 NATURE OF DESIGN DRAWINGS:
DESIGN DRAWINGS ARE DIAGRAMATIC AND DO NOT INTEND TO SHOW EVERY FITTING, ELBOW, TRANSITION, ETC. THAT WILL BE NECESSARY FOR A COMPLETE OPERATIONAL SYSTEM AS REQUIRED BY THESE SPECIFICATIONS.

1.6 COORDINATION DRAWINGS:
PREPARE 1/4" SCALE COORDINATION DRAWINGS SHOWING MAJOR SYSTEM COMPONENTS FOR A/E APPROVAL.

1.7 SUBMIT SHOP DRAWINGS FOR ARCHITECT / ENGINEER APPROVAL BEFORE PROCEEDING WITH THE PURCHASE OR INSTALLATION OF EQUIPMENT AND MATERIALS.

1.8 GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.

2.0 MATERIALS

2.1 PROVIDE SHUT-OFF VALVES FOR EACH FIXTURE AND AIR CHAMBERS WHERE SHOWN AND WHERE REQUIRED FOR PROPER PERFORMANCE OF THE SYSTEM.

2.2 PROVIDE DIELECTRIC FITTINGS TO CONNECT PIPING TO EQUIPMENT OR OTHER PIPING OF DISSIMILAR METALS. USE CLAMPS AND FASTENERS OF SIMILAR METALS OR ISOLATE FROM PIPING. ISOLATE PIPING FROM CONCRETE SLABS AND WALLS TO PREVENT CORROSION.

2.3 PIPING

2.3.1 DOMESTIC COLD AND HOT WATER:
UNDER GROUND BELOW BUILDING:
SOFT COPPER TYPE "K" OR "L" WITHOUT JOINTS.
ABOVE GRADE:
HARD DRAWN COPPER TYPE "M" WITH SOLDERED JOINTS.
VALVES:
125 PSIG MIN. WOG BRONZE VALVES
HOT WATER INSULATION:
1" PRE-FORMED GLASS FIBER W/FIRE RATED A.S.JACKET.

2.3.2 SANITARY WASTE AND VENT:
UNDER GROUND BELOW BUILDING:
CENTRIFUGALLY SPUN CAST IRON PIPE NO-HUB FITTINGS SCH. 40 P.V.C. D.W.V. PIPE & FITTINGS MAY BE USED WHERE ALLOWED BY THE LOCAL JURISDICTION.
ABOVE GRADE:
CENTRIFUGALLY SPUN CAST IRON PIPE NO-HUB FITTINGS

2.3.3 RAIN WATER COLLECTION:
NOT USED

2.3.4 A/C CONDENSATE: PVC SCEDULE 40 PIPE AND FITTINGS.

2.4 NO PVC PIPING MAY BE USED INSIDE RETURN AIR AIR CONDITIONING PLENUMS OR A/C CLOSET.

3.0 EXECUTION

3.1 SEPARATE ALL PIPING FROM CONCRETE BY USING SLEEVES THRU WALLS AND FLOORS. CAULK ANNULAR SPACE WITH APPROVED FIRE RATED CAULKING.

3.2 PROVIDE FIRE SAFING AT ALL PIPING PENETRATIONS AS PER DETAILS PROVIDED.

3.3 DO NOT INSTALL PVC PIPING IN CEILING SPACES INTENDED FOR RETURN AIR PLENUMS OR IN A/C CLOSETS.

3.4 DO NOT INSTALL ANY PIPING (WATER, SANITARY, VENT, STORM, ETC.) INSIDE ELEVATOR EQUIPMENT ROOMS ELECTRICAL ROOMS OR ELECTRICAL VAULT.

PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURE TYPE	TRAP SIZE	C.W.	H.W.	DESCRIPTION
WC-LAV	WATER CLOSET FOR HOLDING CELLS	3"	1¼"		
KS	KITCHEN SINK	2"	1/2"	1/2"	
JSK.	JANITOR SINK	2"	1/2"	1/2"	
MSK.	MOP SINK	2"	1/2"	1/2"	
SH	SHOWER	2"	1/2"	1/2"	
HI-LO EWC	HANDICAP EWC	1 1/2"	1/2"		PROVIDE SANITARY DRAIN AS REQUIRED BY MANUFACTURER

ALL FIXTURES SHALL COMPLY WITH FBC PLUMBING 604.4 FOR WATER CONSUMPTIONS AS PER MIAMI DADE ORDINANCE SECTION 8-31 PLUMBING SHALL MEET LOCAL WATER FLOW RESTRICTIONS ADOPTED BY MDC WATER AND SEWER.T

Rack Room Partial- Plumbing Plan 3/16'

Third Floor

NORTH

SAN. PIPE SLOPE

2"ø OR LESS @ 1/4" / FT
3"ø OR BIGGER @ 1/8" / FT

PLAN KEY NOTES

◇1 VERIFY SEWER INVERT ELEVATION BEFORE COMMENCING BLDG. SEWER WORK. REPORT TO A/E ANY DISCREPANCIES.

EXISTING SANITARY SEWER

PARTIAL SANITARY SEWER COLLECTION DIAGRAM

NTS

Building Key Plan N.T.S.

Third Floor

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSTRUED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS. DUE TO THE VARIATIONS IN INTERPRETATIONS OF THE CODE THAT OCCUR IN DIFFERENT MUNICIPALITIES FINAL APPROVAL AND REVIEW IS NEEDED TO ASSURE COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.

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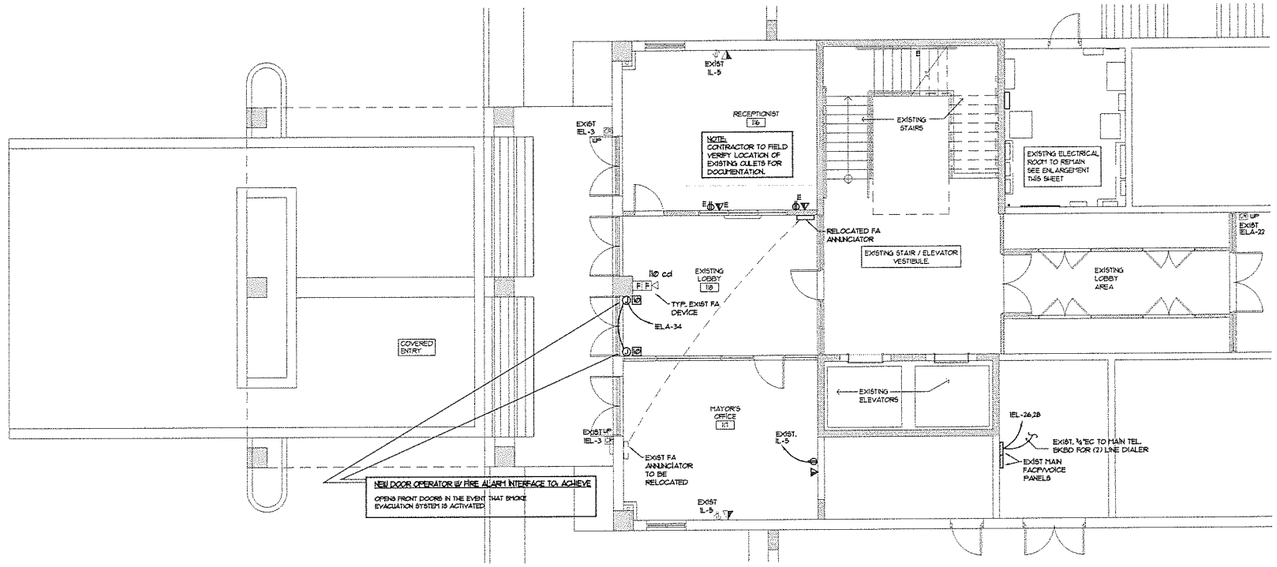
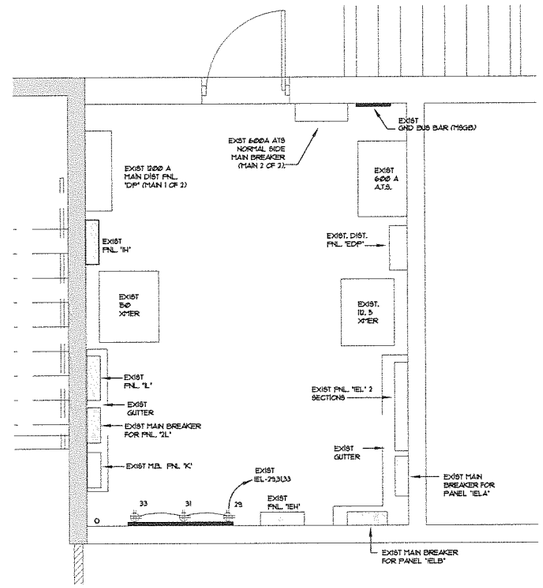
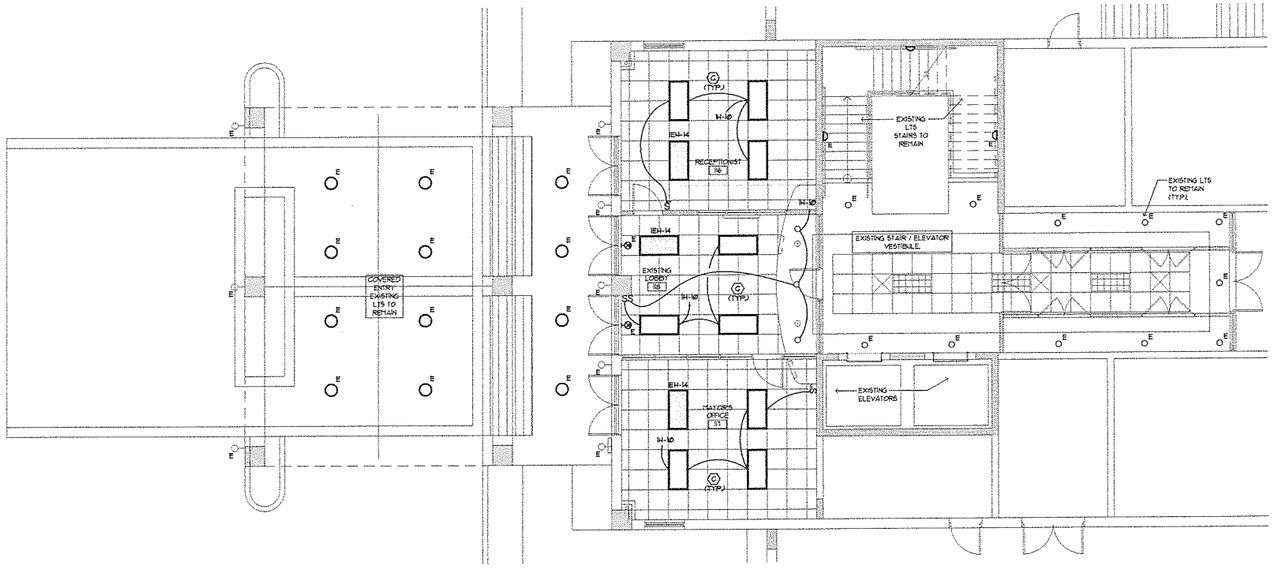


Lobby Area - Power Plan 3/16'
Ground Floor

NORTH

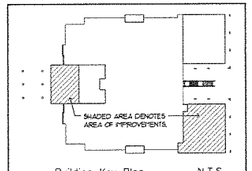


EXISTING ELECTRICAL ROOM 1/2'=1'
NOTE: ALL EQUIPMENT IS EXISTING



Lobby Area - Lighting Plan 3/16'
Ground Floor

NORTH



Building Key Plan N.T.S.
Ground Floor Areas of Improvements.

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Municipal Services Facility
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May 20 2014

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MAY 20 2014

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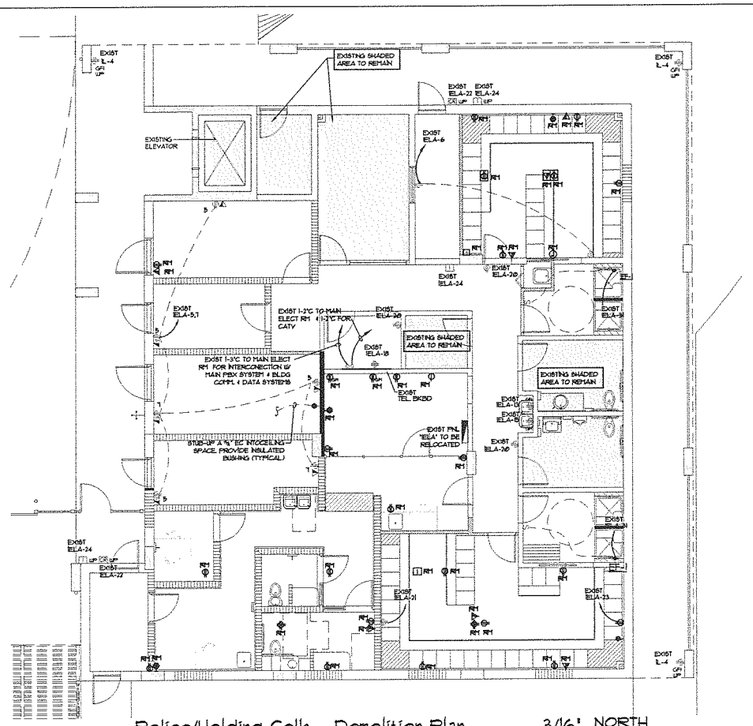
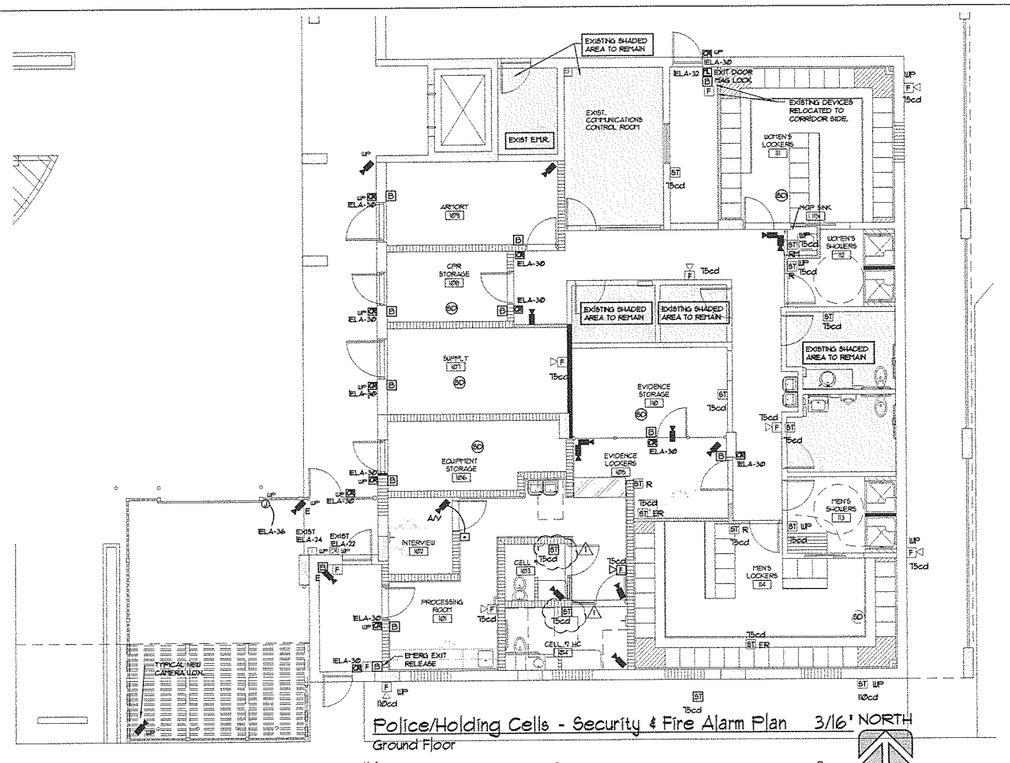
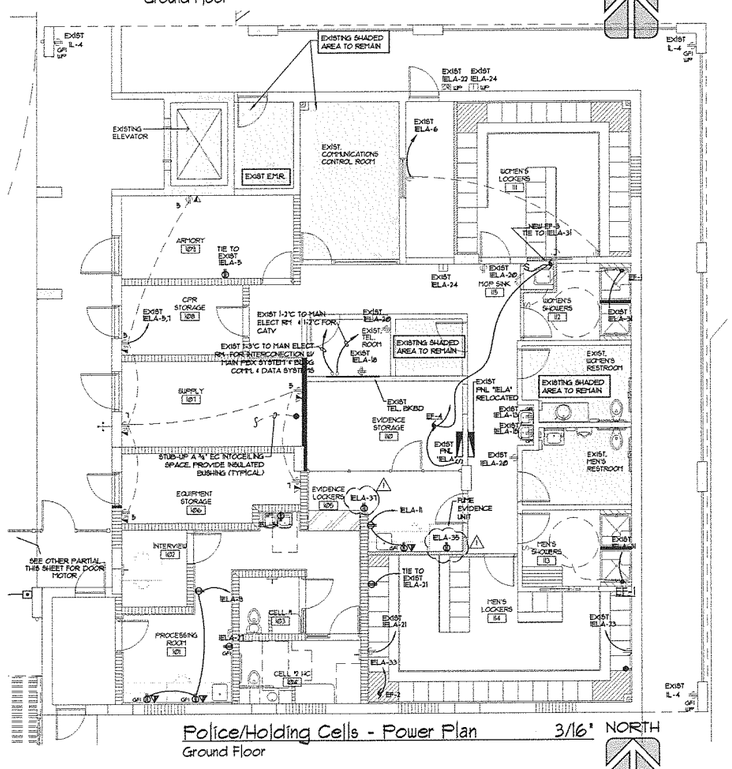


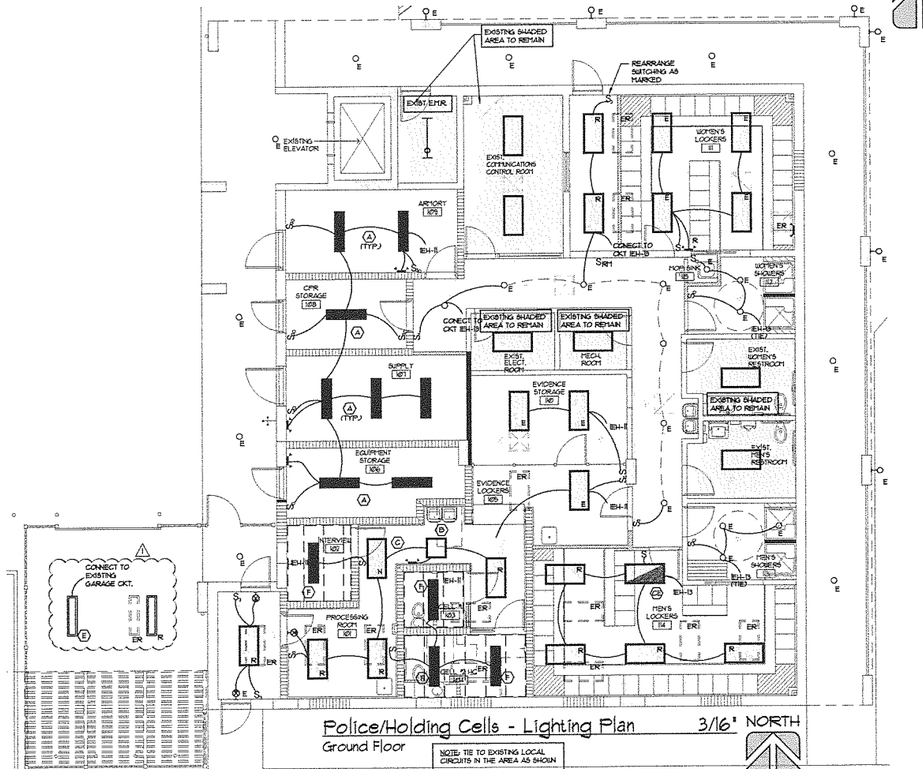
Police/Holding Cells - Demolition Plan 3/16" NORTH
Ground Floor



Police/Holding Cells - Security & Fire Alarm Plan 3/16" NORTH
Ground Floor



Police/Holding Cells - Power Plan 3/16" NORTH
Ground Floor



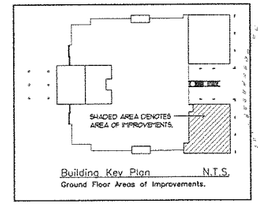
Police/Holding Cells - Lighting Plan 3/16" NORTH
Ground Floor

NOTE: TIE TO EXISTING LOCAL CIRCUITS IN THE AREA AS SHOWN

NOTE:
CARD READER SHALL INTERFACE WITH FIRE ALARM SYSTEM UPON ACTIVATION OF FACP CARD READER DOORS SHALL DE-ACTIVATE, RUN ½"C TO FACP FOR INTERFACING.

SECURITY LEGEND
- SECURITY CAMERA-PROVIDE 3/4"C W/ P/S TO SECURITY PANEL LOCATION.
- A/V SECURITY CAMERA + AUDIO
- CR CARD READER RUN 3/4"C W/ P.S. TO SECURITY WITH ELECTRIC STRIKE (TYP.) PROVIDE 5P/20A CKT ON ENERG. CKT WITH J.B. OF ACCESS DOOR.
- I INTERCOM RUN 3/4"C TO SECURITY PANEL LOCATION.
- PB PUSH BUTTON RELEASE FOR ACCESS CONTROL
- + ACTIVATE BUTTON FOR CCTV.

ELECTRICAL PLAN NOTE:
SEE E-3 FOR LEGEND OF SYMBOLS & ABBREVIATIONS



Building Key Plan N.T.S.
Ground Floor Areas of Improvements.

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GENERAL FIRE ALARM INSTALLATION NOTES

1.1 SCOPE

A. THE WORK COVERED BY THESE DRAWINGS INCLUDES THE FURNISHING OF ALL LABOR, EQUIPMENT, MATERIALS, AND PERFORMANCE OF ALL OPERATIONS IN CONNECTION WITH THE INSTALLATION OF THE LIFE SAFETY SYSTEM AS SHOWN ON THE DRAWINGS AND AS HEREIN SPECIFIED.

B. THE COMPLETE INSTALLATION SHALL CONFORM TO THE APPLICABLE SECTIONS OF NFPA-72, LOCAL CODE REQUIREMENTS NATIONAL ELECTRICAL CODE, ANSI ELEVATOR CODE, AND ANSI HANDICAP CODE.

1.2 GENERAL

A. FURNISH AND INSTALL A COMPLETE LIFE SAFETY SYSTEM AS DESCRIBED HEREIN AND AS SHOWN ON THE PLANS. TO BE WIRED, CONNECTED, AND LEFT IN FIRST CLASS OPERATING CONDITION. THE SYSTEM SHALL USE CLOSED LOOP INITIATING DEVICE CIRCUITS WITH INDIVIDUAL ZONE SUPERVISION, INCOMING AND STANDBY POWER SUPERVISION.

B. ALL PANELS AND PERIPHERAL DEVICES SHALL BE THE STANDARD PRODUCT OF A SINGLE MANUFACTURER AND SHALL DISPLAY THE MANUFACTURER'S NAME ON EACH COMPONENT. THE CATALOGUE NUMBERS SPECIFIED UNDER THIS SECTION ARE THOSE OF NOTIFIER AND CONSTITUTE THE TYPE, QUALITY OF ALARM, MATERIAL AND OPERATING FEATURES DESIRED.

2. TESTING

A. THE COMPLETE FIRE ALARM SYSTEM SHALL BE FULLY TESTED IN ACCORDANCE WITH NFPA-72 BY THE CONTRACTOR IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE AND THE LOCAL FIRE MARSHAL. NFPA COMPLETION FROM SHALL BE SUPPLIED.

3. WARRANTY

A. THE CONTRACTOR SHALL WARRANT THE COMPLETED FIRE ALARM SYSTEM WIRING AND EQUIPMENT TO BE FREE FROM INHERENT MECHANICAL AND ELECTRICAL DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE COMPLETED AND CERTIFIED TEST OR FROM THE DATE OF FIRST BENEFICIAL USE.

WIRE LEGEND:

A = 2#18 FPL (DATAXUNSHIELDEDXBLUE)

S = 2#14 FPL (STROBEXUNSHIELDEDXRED)

P = 2#6 FPL (POWERXUNSHIELDEDXRED)

ALL CONDUITS 1/2" EMT MINIMUM40% FILLED MAX.

FIRE ALARM : BACKUP POWER REQUIREMENTS

1. ALL POWER SUPPLY OUTPUTS AND SIGNAL CIRCUITS SHALL BE LOADED A MAXIMUM OF 75% AT PEAK CURRENTS TO ALLOW FOR FUTURE EXPANSION.
2. PROVIDE VOLTAGE DROP CALCULATIONS UPON SUBMITTAL AND BATTERY CALCULATIONS WITH 24 HOURS OF STANDBY AND 5 MINUTES IN ALARM.
3. MONITOR ALL POWER SUPPLY OUTPUTS FOR VOLTAGE LOSS, GROUNDS AND SHORTS.

FIRE ALARM NOTES

1. CONDUITS TO BE ¾" MINIMUM AND SIZED BY THE ELECTRICAL CONTRACTOR AS PER THE N.E.C. AND FILLED TO A 40% MAXIMUM.
2. ALL FIRE ALARM INITIATING, SIGNAL AND CONTROL CIRCUITS ARE POWER LIMITED.
3. ALL FIRE ALARMS DEVICES ARE U.L. LISTED AND COMPATABLE.
4. WIRE MANUFACTURERS AND SPECING CABLE NUMBERS TO BE APPROVED BY THE ENGINEER OF RECORD.
5. THIS ANALOG/DIGITAL MULTIPLEX SYSTEM SHALL EMPLOY INTELLIGENT CLASS 'B' INITIATING AND SIGALLING LINE SUPERVISION.
6. INSTALL A COMPLETE FIRE ALARM SYSTEM IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, NFPA CODES AND ALL LOCAL ORDINANCES.
7. MOUNT ALL CONTROL RELAYS WITHIN 3' OF THE SHUTDOWN POINT.
8. MOUNT ALL STROBE UNITS AT 80" A.F.F. TO MEET A.D.A. CODES.
9. UPON SUBMITTAL PROVIDE BATTERY CALCULATIONS FOR EACH POWER SUPPLY (60 HOURS OF STANDBY AND 5 MINUTES OF ALARM) AND VOLTAGE DROP CALCULATIONS FOR EACH SIGNAL CIRCUIT. THE SYSTEM SHALL BE A REMOTE SUPERVISING STATION FIRE ALARM SYSTEM. SYSTEM AND THE REQUIRED MONITORING BY AN AGENCY SHALL BE PROVIDED.
10. ALL STROBES TO BE SELF-SYNCHRONIZED BY CIRCUIT TO AVOID EPILEPTIC SEIZURES ON PHOTO SENSITIVE PERSONS.
11. ALL AUDIBLE SIGNALS TO BE THE AMERICAN NATIONAL STANDARD EMERGENCY EVACUATION SIGNAL (3-3-3 TEMPORAL PATTERN).
12. ALL POWER SUPPLY OUTPUTS, INTELLIGENT LOOPS AND SIGNAL CIRCUITS TO BE LOADED A MAXIMUM OF 75% TO ALLOW FOR FUTURE CHANGES OR EXPANSIONS.
13. PROVIDE 4 DRY CONTACT CIRCUITS FOR ALARM MONITORING SERVICE (ALARM, SYSTEM TROUBLE, SUPERVISORY AND WATERFLOW).
14. ALL TAMPER + FLOW SWITCHES (NOT SHOWN) SHALL BE MONITORED BY FIRE ALARM SYSTEM. SEE FIRE SPRINKLER DRAWINGS FOR EXACT LOCATIONS. COORDINATE DEVICES AT PIV + BACK FLOW PREVENTER.

SEQUENCE OF OPERATIONS

1) ALL THE SIGNAL CIRCUITS SHALL ACTIVATE A AN ALARM SIGNAL SHALL BE SENT TO THE MONITORING COMPANY.
2) UPON OPERATION OF A TAMPER SWITCH, THE NOTIFICIAL LOCATION MESSAGE SHALL BE DISPLAYED ON THE FIRE ALARM CONTROL PANEL LCD DISPLAY, THE PRINTER AND THE ANNUNCIATOR AS A 40 CHARACTER MESSAGE.
   A. A SUPERVISORY SIGNAL SHALL BE SENT TO THE MONITORING COMPANY.

FIRE ALARM DEVICE LEGEND

SYMBOL	DESCRIPTION	CATALOG NUMBER	MOUNTING HEIGHT
SD	SMOKE DETECTOR	SIGA-PS / SIGA-SB	
HD	HEAT DETECTOR	SIGA-HRS	
F	PULL STATION	SIGA-278	48" AFF TO BOTTOM
CR	CONTROL RELAY	SIGA-CR	
OM	OUTPUT MODULE	SIGA-CC1	
OMS	SYNCHRONIZE OUTPUT MODULE	SIGA-CC1S	
CM	CONTROL MODULE	SIGA-CT1	
IM	ISOLATOR MODULE	SIGA-IM	
WM	WATERFLOW/TAMPER	SIGA-WTM	
MR	MULTI-VOLTAGE CONTROL RELAYS	WR-101/T	
ST 75CD	STROBE (75CD)	C1-VM	80" AFF TO BOTTOM
H 75CD	HORN/STROBE (75CD)	C1-HDVM	80" AFF TO BOTTOM
ST 110CD WP	STROBE (110CD)WP	CS-405-8A-T	80" AFF TO BOTTOM
FACP	FIRE ALARM CONTROL PANEL	I0500	60" AFF TO TOP
ANN	FIRE ALARM ANNUNCIATOR	RLCD	
BPS	BOOSTER POWER SUPPLY	BPS10A	72" AFF TO TOP
FBV	FIRE ALARM FLOW BELL	439D-6AW(R)	
PIV	POST INITIATION VALVE	BY OTHER	
BFP	BACKFLOW PREVENTOR	BY OTHER	
FS	FLOW SWITCH	BY OTHER	
TS	TAMPER SWITCH	BY OTHER	
LSS	LOW VOLTAGE SURGE PROTECTOR	DRDC24	
VSS	VOLTAGE SURGE PROTECTOR	ACP100BWN3	

GENERAL ELECTRICAL NOTES:

1.0 GENERAL
1.1 WORK INCLUDED UNDER THIS DIVISION CONSISTS OF PROVIDING LABOR MATERIALS, APPLIANCES, EQUIPMENT, TOOLS, TRANSPORTATION, SUPERINTENDENCE AND SERVICES REQUIRED TO CONSTRUCT AND INSTALL COMPLETE AND PROPER OPERATING ELECTRICAL SYSTEMS AS SPECIFIED, INDICATED, AND ELSEWHERE, REQUIRED.
1.2 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC), FLORIDA BUILDING CODE (FBC) AND ALL OTHER APPLICABLE CODES IN THEIR LATEST EDITION.

2.0 EXAMINATION OF SITE
2.1 BIDDER IS ADVISED TO VISIT THE SITE AND ACQUAINT HIMSELF WITH WORKING CONDITIONS. CONTRACTOR SHALL ACCEPT CONDITIONS AS THEY EXIST ON BID DATE.

3.0 MATERIALS
3.1 MATERIALS, EQUIPMENT AND APPLIANCES SHALL BE NEW AND OF BEST QUALITY UNLESS OTHERWISE INDICATED.
3.2 DETERMINE THAT PROPOSED EQUIPMENT CAN BE INSTALLED IN SPACE AVAILABLE. INSTALL EQUIPMENT SO PARTS ARE READILY ACCESSIBLE FOR INSPECTION AND MAINTENANCE. EXTRA COMPENSATION WILL NOT BE ALLOWED FOR DISMANTLING EQUIPMENT TO OBTAIN ENTRANCE INTO BUILDING.
3.3 MATERIALS SHALL BEAR UNDERWRITER'S LABEL WHERE SUCH STANDARDS HAVE BEEN ESTABLISHED AND LISTED BY UNDERWRITER'S LABORATORIES, INC.
3.4 MATERIALS, EQUIPMENT AND APPLIANCES SHALL CONFORM TO LATEST STANDARDS OF: AMCA, ANSI, ASTM, NEMA, AIR & NFPA.

3.5 USE EXTREME CARE IN SELECTION AND INSTALLATION OF EQUIPMENT TO INSURE THAT NOISE AND VIBRATION ARE HELD TO ABSOLUTE MINIMUM. CORRECT OBJECTIONABLE NOISE AND VIBRATION. PROVIDE ELIMINATORS REQUIRED FOR PROPER RESULTS.

4.0 PERMITS, FEES AND CODES
4.1 COST FOR FEES, PERMITS, TESTS AND INSPECTIONS SHALL BE PAID FOR BY THIS CONTRACTOR.
4.2 INSTALLATION SHALL BE IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS INCLUDING: F.B.C., N.E.C., N.F.P.A., O.S.H.A. AND STATE, COUNTY AND CITY DEPARTMENTS OF HEALTH.

5.0 COOPERATE WITH OTHER TRADES
5.1 MAKE KNOWN ARRANGEMENT OF WORK AND CHECK ARRANGEMENT AND LOCATION OF OTHER TRADES TO AVOID CONFLICTS. EXAMINE DRAWINGS OF OTHER TRADES TO DETERMINE EXACT EQUIPMENT LOCATIONS FOR ROUGH IN.

6.0 OPERATING INSTRUCTIONS
6.1 CONTRACTOR SHALL PROVIDE TO OWNER OPERATION AND MAINTENANCE MANUALS. CONTRACTOR SHALL INSTRUCT OWNER OR OWNER'S REPRESENTATIVE IN OPERATION OF ALL EQUIPMENT. TYPE WRITTEN LABELS SHALL BE PLACED IN PANEL BOXES DESIGNATING CIRCUIT LAYOUTS.

7.0 INSPECTION
7.1 NOTIFY OWNER TWENTY-FOUR HOURS IN ADVANCE WHEN PIPING OR EQUIPMENT IS TO BE TESTED, BEFORE PIPING IS INSULATED OR CONCEALED, AND BEFORE TRENCHES ARE BACKFILLED.
7.2 FAILING TO COMPLY WITH THE ABOVE, CONTRACTOR SHALL UNCOVER AND RETEST LINES, REPAIRING DAMAGE TO OTHER CONTRACTOR'S WORK, AS WELL AS HIS OWN.
7.3 BEFORE REQUESTING FINAL PAYMENT, INSPECT INSTALLATION TO ASSURE THAT WORK IS COMPLETE AND REQUIREMENTS OF CONTRACT HAVE BEEN FULFILLED.

8.0 CUTTING AND PATCHING
8.1 UNLESS OTHERWISE INDICATED, DO NO MORE CUTTING AND PATCHING THAN REQUIRED FOR INSTALLATION OF WORK.
8.2 CUTTING OF STRUCTURAL MEMBERS OR EXPOSED SURFACE OF CONCRETE BLOCK WILL NOT BE PERMITTED.

9.0 MATERIALS AND EQUIPMENT
9.1 CONDUCTORS & CONDUIT: CONDUCTORS SHALL BE THWN COPPER. CONDUIT SHALL PVC RIGID UNDERGROUND AND EMT ABOVE GROUND.
9.2 RECEPTACLES, SWITCHES & TELEPHONE OUTLETS:
PROVIDE DEVICES EQUAL TO LEVITON – DECORA STYLE, WHITE
ALL RETAIL AND PUBLIC AREAS SHALL BE PROVIDED WITH COMMERCIAL GRADE.
9.3 DATA OUTLETS: PLATES TO BE EQUAL TO THE TELEPHONE OUTLET PLATES
9.4 PANELBOARDS & SWITCHBOARDS:
A. GENERAL: INTERRUPTING CAPACITY RATINGS SHALL BE VERIFIED AND BASED ON THE AVAILABLE SYMMETRICAL FAULT CURRENT GIVEN BY THE POWER COMPANY UPON LOCATION & INSTALLATION OF VAULT & TRANSFORMER.
B. MANUFACTURERS AND SPECIFICATIONS:
EQUAL TO GE POWER BREAK II/ PHASE FAILURE RELAY & TVSS
C. FINISH: ANSI #61 ENAMEL OVER A RUST INHIBITING TREATMENT AFTER FABRICATION AND BEFORE ASSEMBLY. AFTER INSTALLATION, AND BEFORE ACCEPTANCE BY OWNER, ASSEMBLY SHALL BE PAINTED WITH A RUST INHIBITING PAINT (COLOR SELECTED BY ARCHITECT).
D. NAMEPLATES: PROVIDE A LAMACOID NAMEPLATE WITH 3/16" LETTERS ENGRAVED ON FRONT FACE SHOWING PANEL NAME, VOLTAGE AND PANEL RATING. COORDINATE TO GIVE SAME NAME AS SHOWN ON PANELBOARD SCHEDULE.

E. MANUFACTURERS AND SPECIFICATIONS:
SWITCHBOARDS: EQUAL TO GE SPECTRA SERIES WITH BOLT ON BREAKERS
PANELBOARDS: EQUAL TO GE AE

9.5 MAIN CIRCUIT BREAKERS :
A. GENERAL: INTERRUPTING CAPACITY RATINGS SHALL BE VERIFIED AND BASED ON THE AVAILABLE SYMMETRICAL FAULT CURRENT GIVEN BY THE POWER COMPANY UPON LOCATION & INSTALLATION OF VAULT & TRANSFORMER.
B. MANUFACTURERS AND SPECIFICATIONS:
EQUAL TO GE SPECTRA SERIES WITH BOLT ON BREAKERS
C. SHUNT TRIPS SHALL BE PROVIDED ON ALL 5 MAINS IN THE ELECTRICAL ROOM WITH INTERCONNECTION TO REMOTE PUSH BUTTONS TO BE LOCATED AT THE FIRE COMMAND CENTER.
D. SWBD EQUAL TO GE TRANQUELL MK (130A/phase) SHALL BE PROVIDED AT ALL MAINS IN THE ELECTRICAL ROOM AND OTHER PANELS IN THE ELECTRICAL ROOM.

9.6 LOAD CENTERS: FOR APARTMENT UNITS
EQUAL TO GE "POWERMARK GOLD"

9.7 FUSIBLE SWITCHES: ELEVATORS AND HVAC EQUIPMENT
EQUAL TO GE SPEC-SETTER HVY DUTY

9.8 MOTOR CONTROL AND MAIN CONTROL
EQUAL TO GE "ATEC" MOTOR WITH TYPE DESCRIPTIONS AS INDICATED ON THE RISER DIAGRAM SHEET.
MAINS CONNECTED TO THE BUS DUCT SHALL BE EQUAL TO GE PTO.

9.9 BUS DUCTS:
EQUAL TO GE SPECTRA SERIES BUSWAY – ALUMINUM WITH INTEGRAL GROUND

10.0 FUSES
A. SUPPLY AND INSTALL ALL FUSES IN EACH FUSED DEVICE.
B. ALL AIR CONDITIONING AND KITCHEN EQUIPMENT SHALL BE FUSED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
C. INSTALL LABELS IN ALL FUSED DEVICES INDICATING PROPER SIZE FUSE TO USE.

11.0 MISCELLANEOUS
11.1 ALL EMPTY CONDUIT TO BE SUPPLIED WITH NYLON PULL WIRE.
11.2 ALL FLEX CONDUIT SHALL HAVE "TITE-BITE" CONNECTORS.
11.3 ELECTRICAL CONTRACTOR TO INSTALL AND WIRE OUTLETS IN FIXTURES WHERE SHOWN ON DRAWINGS – OUTLETS TO BE INSTALLED IN FIXTURES AFTER FIXTURE INSTALLATION.
11.4 ALL DEDICATED CIRCUITS SHALL BE LABELED AS SUCH AT OUTLET.

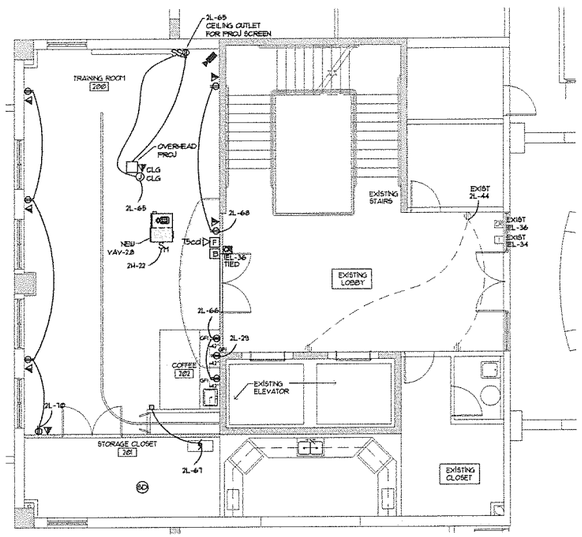
12.0 LIGHT FIXTURES:
A. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL LIGHTING FIXTURES AS SPECIFIED ON DRAWINGS WITH DEVELOPER AND/OR ARCHITECT APPROVAL. VERIFY BEFORE PURCHASE AND INSTALLATION.

B. LAMPS: ALL LAMPS USED ON THIS PROJECT SHALL BE NEW, DELIVERED TO THE JOB SITE IN THE ORIGINAL PACKING CASES AND SLEEVES AND SHALL BE OF THE SAME MANUFACTURER UNLESS OTHERWISE SPECIFIED.

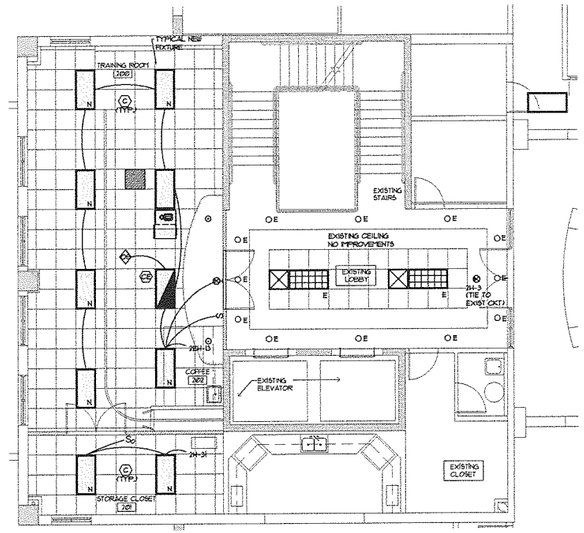
C. BALLASTS: ALL BALLASTS SHALL BE RATED TO OPERATE AT THE SERVICE VOLTAGE AS SHOWN AND AS SPECIFIED, PLUS OR MINUS THE DEVIATIONS WITH THE ELECTRIC SERVICE COMPANY IS ALLOWED BY FRANCHISE.

ELECTRICAL SYMBOL LIST

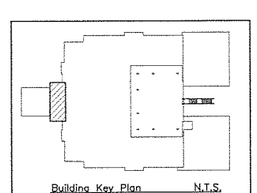
- 3 W. GROUNDED DUPLEX RECEPTACLE 20 A. 150 V. M.H. + 15" A.F.F.
- 3 W. GROUNDED DEDICATED RECEPTACLE 20 A. 150 V. M.H. + 15" A.F.F.
- 3 W. GROUNDED SINGLE RECEPTACLE 30 A. 208 V. M.H. + 15" A.F.F.
- JUNCTION BOX CEILING OR FLOOR MOUNTED
- JUNCTION BOX WALL MOUNTED M.H. AS DIRECTED
- TELEPHONE OUTLET M.H. + 15" A.F.F. OR AS INDICATED. (3/4" CONDUIT ONLY TO 6" ABOVE CEILING- NO WIRING)
- DUAL NETWORK DATA OUTLET M.H. + 15" A.F.F. OR AS INDICATED. (1" CONDUIT ONLY TO 6" ABOVE CEILING- NO WIRING)
- TELEVISION OUTLET M.H. +15" A.F.F.
- THERMOSTAT M.H. + 50" A.F.F.(REFER. TO A/C DWGS FOR LOCATION)
- MOTOR OUTLET
- ELECTRICAL PANEL
- SWITCHBOARD
- FUSED DISCONNECT SWITCH W/DUAL ELEMENT FUSES
- PULL OUT BOX W/ FUSES, FUSED PER EQ. NAME PLATE
- 3○b INCANDESCENT FIXTURE OUTLET CEILING MOUNTED. NUMBER INDICATES CIRCUIT, LETTER INDICATES SWITCHING ARRANGEMENT
- INCANDESCENT FIXTURE OUTLET WALL MOUNTED M.H. AS INDICATED
- FLUORESCENT FIXTURE OUTLET STRIP
- FLUORESCENT 3 LAMPS F32T8 FIXTURE EXISTING TO BE RELOCATED, REPAIRED & RELAMPED. REPLACE & ADD AS NEEDED
- FLUORESCENT FIXTURE OUTLET CEILING MOUNTED STRIP CONNECTED TO EMERGENCY CIRCUIT OR NIGHT LIGHT CIRCUIT
- EMERGENCY LIGHT WITH BATTERY BACK UP
- EXIT LIGHT CEILING MOUNTED ARROW INDICATES DIRECTION OF EGRESS
- EXIT LIGHT WALL MOUNTED ARROW INDICATES DIRECTION OF EGRESS
- S SINGLE POLE TOGGLE SWITCH M.H. + 50" A.F.F.
- S_3 THREE-WAY SWITCH M.H. + 50" A.F.F.
- S_4 FOUR-WAY SWITCH M.H. + 50" A.F.F.
- S_D DIMMER SWITCH M.H. + 50" A.F.F., FOR DIMMER SIZE SEE DIMMER SCHEDULE
- FLEXIBLE CONNECTION.
- HOME RUN TO PANEL. HASH MARKS INDICATE NUMBER OF WIRES. NO MARKS INDICATE TWO WIRES. GROUND WIRE NOT INDICATED,PROVIDE AS REQ'D BY N.E.C.
- SMOKE DETECTOR DEVICE. ELECTRICAL
- A.F.F. ABOVE FINISHED FLOOR.
- G.F.I. GROUND FAULT INTERRUPTER
- W.P. WEATHER PROOF.
- A.C. ABOVE GRADE.
- M.H. MOUNTING HEIGTH.
- EM. CONNECTED TO EMERGENCY SYSTEM.
- N.F. NON-FUSED
- 60/60 60 A. RATING FUSED AT 60 A. DUAL ELEMENT FUSES.
- E EXISTING
- N NEW IF LABELED OR NO DESIGNATION W/ LIGHT FIXTURE LABEL
- RM TO REMOVE
- R RELOCATED
- ER EXISTING TO BE RELOCATED



Training Room - Power Plan 3/16' NORTH
Second Floor



Training Room - Lighting Plan 3/16' NORTH
Second Floor



Building Key Plan N.T.S.
Second Floor

Architecture
Planning&
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-0001984

Rodriguez Pereira Architects, Inc.
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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-9541

REVISIONS	BY

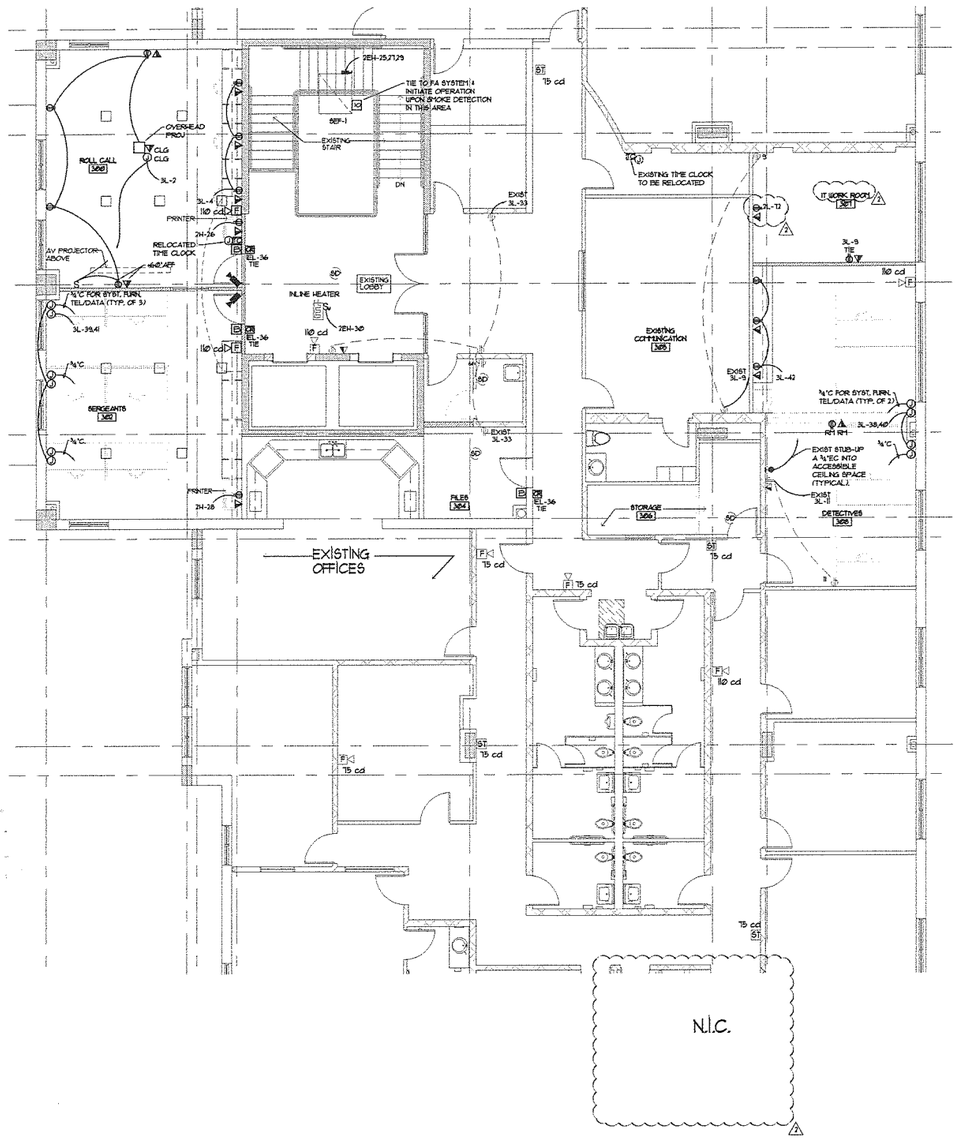
VIVIANA FRANVIE LICENSE No. 49985 STATE OF FLORIDA ENGINEER
May 20 2014
NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEALED BY THE ARCHITECT OR ENGINEER OF RECORD AS REQUIRED BY THE FLORIDA BOARD OF ARCHITECTURE & INTERIOR DESIGN.
MAY 20 2014

Date
Scale
Drawn
Job
Sheet
E-3
of 5 Sheets

FRANVIE ENGINEERS INC.
ANTONIO FRANVIE PE #71940 MECH
VIVIANA FRANVIE PE #49985 ELEC
Certificate of Authorization # COA0002908
1061 NW 163 Street - Miami, FL 33169
Tel: (305) 652-2687 Fax: (305) 652-2688

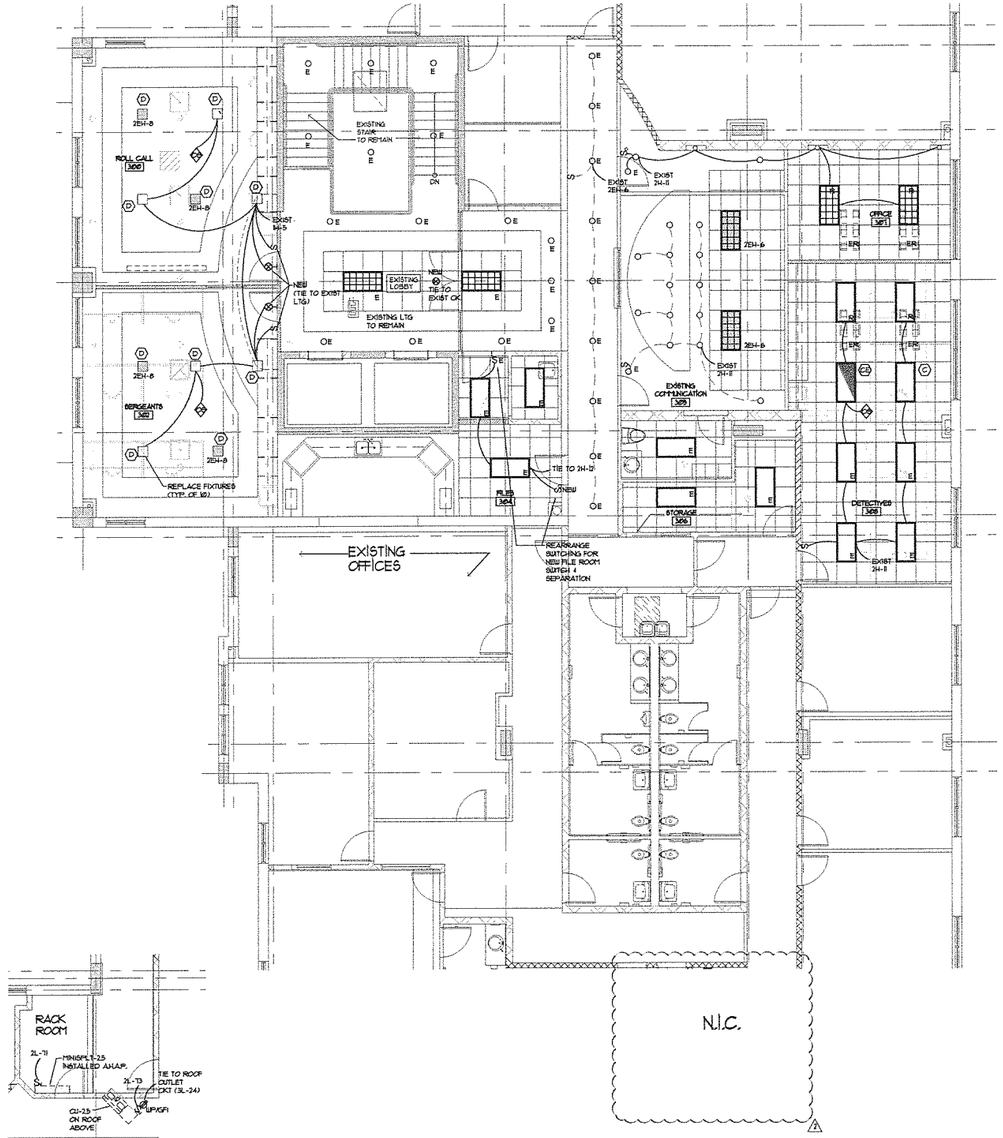
DESIGNED	DRAWN	DATE
VF/RR	VF/RR	12-4/12-4-14

JOB NUMBER 13-222



Enlarged Third Floor - Power Plan 3/16'
Third Floor

NORTH



Rack Room Partial- Power Plan 3/16'
Third Floor

NORTH

Enlarged Third Floor - Lighting Plan 3/16'
Third Floor

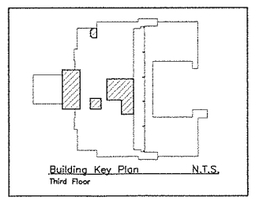
NORTH

OCCUPANCY SENSORS FIXTURE SCHEDULE

WALL SWITCH - SMALL OFFICES	Acuity Brands Lighting Wall Occupancy Sensor - Manual on Sensor Switch WSD SA
OFFICE AREA CEILING SENSORS Extended coverage 12ft Radius @ 9ft	Acuity Brands Lighting Standard Range 360° Sensor - Ceiling Mount, Line Voltage, Passive Infrared (PIR Sensor Switch CMR 9 line voltage 1200W@277V
OFFICE AREA CEILING SENSORS Extended coverage 25ft Radius @ 9ft	Acuity Brands Lighting Extended Range 360° Sensor - Ceiling Mount, Line Voltage, Passive Infrared (PIR Sensor Switch CMR 10 line voltage 1200W@277V

LIGHTING FIXTURE SCHEDULE

Type	Luminaire Description	Luminaire Location	Manufacturer and Catalog Number	Volts	Lamp Information No.	Lamp Information Type/Base/Color/CRI	Mounting	Finish	Remarks
A	4FT FLUORESCENT WRAP AROUND	GENERAL	ACUITY BRANDS LIGHTING LB 332 MVOLT/3 GEB 10 PRS	MVOLT	3	28W T-8 Mini BiPin 4100K, 82 CRI	SURFACE	WHITE	SURFACE MOUNTED
AE	4FT FLUORESCENT WRAP AROUND W/ EMERGENCY BATTERY PACK	GENERAL	ACUITY BRANDS LIGHTING LB 332 MVOLT/3 GEB 10 PRS-EL	MVOLT	3	28W T-8 Mini BiPin 4100K, 82 CRI	SURFACE	WHITE	
B	2X2 TROFFER	OFFICES	ACUITY BRANDS LIGHTING 2GTB G 2 L/3 A12 MVOLT 1/3GEB 10RS LP841 PWS1836	MVOLT	2	13W TBAZ (1-4/5" LED) 4100K, 82 CRI	LAY-IN	WHITE	
C	2X4 TROFFER	GENERAL	ACUITY BRANDS LIGHTING 2GTB G 2 32 A12 MVOLT 1/3GEB 10RS LP841 PWS1836	MVOLT	2	32W T-8 MED. BiPin 4100K, 82 CRI	LAY-IN	WHITE	
CE	2X4 TROFFER W/ EMERGENCY BATTERY PACK	GENERAL	ACUITY BRANDS LIGHTING 2GTB G 2 32 A12 MVOLT 1/3GEB 10RS LP841 PWS1836-EL	MVOLT	2	32W T-8 MED. BiPin 4100K, 82 CRI	LAY-IN	WHITE	
D	NEW 12X12 TO REPLACE 10" DOWNLIGHTS	3RD FLOOR AREA	FOCAL POINT AERON - FAR 11 AC 3 BAYB S 277 U L841 WH		3	16W BIAX	RECESSED CEILING	WHITE	
E	4' ENCLOSED FLUORESCENT	SALLY PORT	COLUMBIA LUN4-232-EBSLH-UNV	277	2	32W T-8 MED. BiPin 4100K/75 CRI	SURFACE	WHITE	ENCLOSED AND GASKETED LUMINAIRE SUITABLE FOR WET LOCATION
F	4' ENCLOSED FLUORESCENT VANDAL RESISTANT LIGHT	HOLDING & INTERVIEW	RENAISSANCE SSA1S 1 2 28RS1 277 4/7 1 UV IH4	277	1	28W T-8 MED BiPin 4100K, 82 CRI	RECESSED	WHITE	5 ANCHORING POINTS TO CLD SECURED INSTALL
EMERG	TWO HEAD EMERGENCY LIGHT	PUBLIC AREAS	ACUITY BRANDS LIGHTING EU2 M6	277	2	6.4W HALOGEN INCLUDED	WALL F APP	WHITE	SUITABLE FOR DAMP LOCATION
EXT	THERMOPLASTIC LED EXIT LIGTH WITH INTERNAL BATTERY PACK	ALL PUBLIC AREAS	ACUITY BRANDS LIGHTING EXR EL M6	277	N/A	RED LED ARRAY INCLUDED	UNIVERSAL	WHITE	SUITABLE FOR DAMP LOCATION



Building Key Plan N.T.S.
Third Floor

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Architecture Planning & Urban Design Space Planning Interior Design
Corp. Lic. # AA-C001984

INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-9541

REVISIONS	BY
05-05-14 BID COORD. COMM	VF
05-19-14 REV SCOPE	VP

VIVIANA FRANYIE LICENSE NO. 49985 STATE OF FLORIDA PROFESSIONAL ENGINEER
May 20 2014
MAY 20 2014

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY VIVIANA FRANYIE ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FRANYIE ENGINEERS, INC.
VIVIANA FRANYIE, P.E. 49985
Certificate of Authorization # 00002606
10631 NW 33 Street, Miami FL 33172
TEL: (305) 599-1362 FAX: (305) 599-1375
www.franyieengineers.com

DESIGN	DRAWN	DATE
VP/RR	VP/RR	04/04/14

Job Number 13-222

Date	
Scale	
Drawn	
Job	
Sheet	E-4
	of 5 Sheets

SQ'D NQOD

LOCATION: 2nd FLOOR ELECTRICAL ROOM — MAIN: MLO — 120/208 V3 Φ 4 W, 10K AIC
400 A. MLO. PANEL '2L' (2 SECTIONS) — MOUNT: SURFACE

CKT	SERVES	C.B.	P	KVA	WIRE-COND	CKT	SERVES	C.B.	P	KVA	WIRE-COND
1	ROOF RECEPTACLES	20	1	1.1	#12-½"C	2	REFRIGERATOR	20	1	1.4	#12-½"C
3	SMALL APPLIANCES	20	1	1.5	#12-½"C	4	REFRIGERATOR	20	1	1.4	#12-½"C
5	SMALL APPLIANCES	20	1	1.5	#12-½"C	6	GARAGE DISPOSAL	20	1	1.0	#12-½"C
7	EWC	20	1	1.0	#12-½"C	8	EWC	20	1	1.0	#12-½"C
9	EWC	20	1	1.0	#12-½"C	10	EWC	20	1	1.0	#12-½"C
11	EWC	20	1	1.0	#12-½"C	12	EWC	20	1	1.0	#12-½"C
13	EWC	20	1	1.0	#12-½"C	14	EWC	20	1	1.0	#12-½"C
15	RESTROOMS RECS.	20	1	1.1	#12-½"C	16	OFFICE RECEPTACLES	20	1	1.1	#12-½"C
17	RESTROOMS RECS.	20	1	1.1	#12-½"C	18	OFFICE RECEPTACLES	20	1	0.9	#12-½"C
19	OFFICE RECEPTACLES	20	1	1.1	#12-½"C	20	OFFICE RECEPTACLES	20	1	1.6	#12-½"C
21	OFFICE RECEPTACLES	20	1	1.1	#12-½"C	22	OFFICE RECEPTACLES	20	1	1.3	#12-½"C
23	OFFICE RECEPTACLES	20	1	1.5	#12-½"C	24	GYM RECEPTACLES	20	1	0.7	#12-½"C
25	OFFICE RECEPTACLES	20	1	1.3	#12-½"C	26	BATH RECEPTACLES	20	1	1.5	#12-½"C
27	OFFICE RECEPTACLES	20	1	0.9	#12-½"C	28	OFFICE RECEPTACLES	20	1	1.1	#12-½"C
29	OFFICE RECEPTACLES	20	1	0.9	#12-½"C	30	OFFICE RECEPTACLES	20	1	1.3	#12-½"C
31	RECEPTACLES	20	1	1.3	#12-½"C	32	OFFICE RECEPTACLES	20	1	1.1	#12-½"C
33	LUNCH ROOM RECS.	20	1	0.72	#12-½"C	34	OFFICE RECEPTACLES	20	1	1.1	#12-½"C
35	OFFICE RECEPTACLES	20	1	1.1	#12-½"C	36	OFFICE RECEPTACLES	20	1	1.3	#12-½"C
37	OFFICE RECEPTACLES	20	1	1.44	#12-½"C	38	OFFICE RECEPTACLES	20	1	0.9	#12-½"C
39	OFFICE RECEPTACLES	20	1	1.44	#12-½"C	40	RESTROOMS SOLENOID VALVES	20	1	0.6	#12-½"C
41	GYM RECEPTACLES	20	1	0.72	#12-½"C	42	RESTROOMS SOLENOID VALVES	20	1	0.6	#12-½"C
43	OUTSIDE RECEPTACLES	20	1	0.4	#12-½"C	44	RECEPTACLES	20	1	1.1	#12-½"C
45	EXH. FANS	20	1	0.9	#12-½"C	46	LIGHTINGS	20	1	1.5	#12-½"C
47	RECEPTACLES	20	1	0.9	#12-½"C	48	LIGHTINGS	20	1	1.0	#12-½"C
49	OFFICE RECEPTACLES	20	1	1.1	#12-½"C	50	RESTROOM RECEPTACLES	20	1	0.7	#12-½"C
51	RESTROOMS SOLENOID VALVES	20	1	0.6	#12-½"C	52	RESTROOM RECEPTACLES	20	1	0.7	#12-½"C
53	RESTROOMS SOLENOID VALVES	20	1	0.6	#12-½"C	54	CLASSROOM RECEPTACLES	20	1	0.7	#12-½"C
55	OFFICE RECEPTACLES	20	1	0.5	#12-½"C	56	CLASSROOM RECEPTACLES	20	1	0.7	#12-½"C
57	OFFICE RECEPTACLES	20	1	0.9	#12-½"C	58	SPARE	20	1	-	-
59	ROOF RECEPTACLES	20	1	0.7	#12-½"C	60	PNL '3L'	125	3	27.4	%-2"C
61	EXH. FANS	20	1	0.7	#12-½"C	62					
63	STORAGE RECEPTACLES	20	1	0.8	#12-½"C	64					
65	**TRAINING RM PROJ 2nd FLR**	**20**	**1**	**1.0**	**#12-½"C**	66	**TRAINING RM REC 2nd FLR**	**20**	**1**	**1.0**	**#12-½"C**
67	**STORAGE COMP 2nd FLR**	**20**	**1**	**1.0**	**#12-½"C**	68	**TRAINING RM REC 2nd FLR**	**20**	**1**	**0.6**	**#12-½"C**
69	**TRAINING RM REC 2nd FLR**	**20**	**1**	**1.0**	**#12-½"C**	70	**TRAINING RM REC 2nd FLR**	**20**	**1**	**0.8**	**#12-½"C**
71	**MINI SPLIT 25 2nd FLR**	**20**	**1**	**1.5**	**#10-½"C**	72	**IT ROOM WORK 301 REC**	**20**	**1**	**0.4**	**#12-½"C**
73	**CU-25 ROOF**	**20**	**1**	**1.5**	**#10-½"C**	74	**SPARE**	**20**	**1**	**0.4**	
75	SPACES	-	-	-	-	76	SPACES	-	-	-	-
77	SPACES	-	-	-	-	78	SPACES	-	-	-	-
79	SPACES	-	-	-	-	80	SPACES	-	-	-	-
81	SPACES	-	-	-	-	82	SPACES	-	-	-	-
83	SPACES	-	-	-	-	84	SPACES	-	-	-	-

CONNECTED KVA = 71.4 — TOTAL AMPS = 215

FEEDER: 2 RUNS OF (4 #1/0 & 1 #4(G)) -2½" EACH.

CALCULATIONS FOR PANEL '2L'
DEMAND LOAD: RECEPTACLE 1ST 10 KVA @100% = 10.0 KW
REMAINING 23.5 KW @50% = 11.8 KW
REST OF LOAD @100% = 56.0 KW
TOTAL LOAD 71.4 KW
71.4 KW @208V 3 PHASE = 215 A

SQ'D NQOD

LOCATION: 3rd FLOOR ELECT. ROOM — MAIN: MLO — 120/208 V3 Φ 4 W, 10K AIC
225 A. MLO. PANEL '3L' — MOUNT: SURFACE

CKT	SERVES	C.B.	P	KVA	WIRE-COND	CKT	SERVES	C.B.	P	KVA	WIRE-COND
1	OFFICE RECEPTACLES	20	1	0.9	#12-½"C	2	**OFFICES REC**	20	1	**0.8**	**#12-½"C**
3	OFFICE RECEPTACLES	20	1	0.9	#12-½"C	4	**OFFICES REC**	20	1	**0.8**	**#12-½"C**
5	OFFICE RECEPTACLES	20	1	0.72	#12-½"C	6	OFFICE RECEPTACLES	20	1	0.9	#12-½"C
7	OFFICE RECEPTACLES	20	1	0.72	#12-½"C	8	OFFICE RECEPTACLES	20	1	0.7	#12-½"C
9	OFFICE RECEPTACLES	20	1	0.72	#12-½"C	10	LUNCH ROOM RECS.	20	1	0.7	#12-½"C
11	OFFICE RECEPTACLES	20	1	0.72	#12-½"C	12	REFRIGERATOR	20	1	1.0	#12-½"C
13	LOBBY RECEPTACLES	20	1	0.9	#12-½"C	14	REFRIGERATOR	20	1	1.0	#12-½"C
15	GARAGE DISPOSAL	20	1	1.0	#12-½"C	16	OFFICE RECEPTACLES	20	1	0.7	#12-½"C
17	SMALL APPLIANCES	20	1	1.5	#12-½"C	18	OFFICE RECEPTACLES	20	1	0.7	#12-½"C
19	SMALL APPLIANCES	20	1	1.5	#12-½"C	20	OFFICE RECEPTACLES	20	1	0.72	#12-½"C
21	OFFICE RECEPTACLES	20	1	0.9	#12-½"C	22	OFFICE RECEPTACLES	20	1	0.9	#12-½"C
23	OFFICE RECEPTACLES	20	1	1.1	#12-½"C	24	ROOF RECEPTACLES	20	1	0.9	#12-½"C
25	EWC	20	1	1.0	#12-½"C	26	**COPIER**	20	1	**1.0**	**#12-½"C**
27	EWC	20	1	1.0	#12-½"C	28	**COPIER**	20	1	**0.4**	**#12-½"C**
29	RESTROOMS RECS.	20	1	0.9	#12-½"C	30	RESTROOMS SOLENOID VALVE	20	1	0.6	#12-½"C
31	OFFICE RECEPTACLES	20	1	0.7	#12-½"C	32	SPARE	20	1	-	-
33	OFFICE RECEPTACLES	20	1	0.9	#12-½"C	34	BATH RECEPTACLES	20	1	0.7	#12-½"C
35	EXH. FANS	20	1	0.6	#12-½"C	36	RESTROOMS SOLENOID VALVE	20	1	0.6	#12-½"C
37	EXH. FANS	20	1	0.6	#12-½"C	38	**SYSTEM FURN J.B.**	**20**	**2**	**0.8**	**#12-½"C**
39	**SYSTEM FURN J.B.**	**20**	**2**	**0.8**	**#12-½"C**	40					
41						42	**OFFICES REC**	**20**	**1**	**0.8**	**#12-½"C**

CONNECTED KVA = 32.8 — TOTAL AMPS = 91

FEEDER: SEE ELECTRICAL RISER DIAGRAM

CALCULATIONS FOR PANEL '3L'
LOAD 32.8 KW @100% 32.8 KW
32.8 KW @208V 3 PHASE = 91 A

SQ'D NQOD

LOCATION: 1ST FLOOR (MAIN ELECT ROOM) — MAIN: MCB — 120/208 V3 Φ 4 W, 10K AIC
3P-175A MCB. PANEL '1EL' (2 SECTIONS) — MOUNT: SURFACE

CKT	SERVES	C.B.	P	KVA	WIRE-COND	CKT	SERVES	C.B.	P	KVA	WIRE-COND
1	ELEV. PITS LTS/RECS	20	1	0.8	#12-½"C	2	ELEVATOR CAB. LTS.	20	1	0.7	#12-½"C
3	CARD READERS	20	1	1.1	#12-½"C	4	ELEVATOR CAB. LTS.	20	1	0.7	#12-½"C
5	GENERATOR BATTERY CHARGER	20	1	0.4	#12-½"C	6	ELEV. MACHINE RM. RECS	20	1	0.4	#12-½"C
7	SUMP PUMP	20	1	0.8	#12-½"C	8	JACKET HEATER	60	2	9.0	#6-1"C
9	RECEPT OUTLET	20	1	0.2	#12-½"C	10					
11	ELECTRICAL ROOM RECEPTACLE	20	1	0.7	#12-½"C	12	BATTERY CHARGER	20	1	1.8	#10-½"C
13	ROLLING GATE	20	1	1.0	#12-½"C	14	ROLLING GATE	20	1	1.0	#12-½"C
15	ROLLING GATE	20	1	1.0	#12-½"C	16	ROLLING GATE	20	1	1.0	#12-½"C
17	2nd FL. TEL. RM RECS.	20	1	0.2	#12-½"C	18	3rd FL. TEL. RM RECEPTS.	20	1	0.72	#12-½"C
19	2nd FL. ELECT. RM RECEPT.	20	1	0.72	#12-½"C	20	3rd FL. ELECT. RM RECEPT.	20	1	0.2	#12-½"C
21	SERVER ROOM #306	20	1	1.1	#12-½"C	22	FIRE SMOKE DAMPERS	20	1	0.2	#12-½"C
23	SERVER ROOM #306	20	1	1.1	#12-½"C	24	SPARE	20	1	-	-
25	AU-1 (ELEV. MACH. RM)	20	2	2.6	#12-½"C	26	FIRE ALARM PANEL ▲	20	1	1.0	#12-½"C
27						28	FIRE ALARM PANEL ▲	20	1	1.0	#12-½"C
29	MAIN TEL. BKBD	20	1	0.7	#12-½"C	30	INTERCOM	20	1	1.0	#12-½"C
31	MAIN TEL. BKBD	20	1	0.7	#12-½"C	32	LIGHTS	20	1	1.0	#10-½"C
33	MAIN TEL. BKBD	20	1	0.7	#12-½"C	34	CARD READERS	20	1	1.1	#10-½"C
35	DOOR STRIKE	20	1	0.5	#12-½"C	36	INTERCOM	20	1	1.0	#10-½"C
37	SECURITY PANEL	20	1	0.7	#12-½"C	38	MAYOR'S OFFICE RECS.	20	1	0.7	#10-½"C
39	SECURITY PANEL	20	1	0.7	#12-½"C	40	MAYOR'S OFFICE RECS.	20	1	0.7	#10-½"C
41	FSD	20	1	0.1	#12-½"C	42	MAYOR'S OFFICE RECS.	20	1	0.7	#10-½"C
43	MAYOR'S OFF. CONF.	20	1	0.7	#10-½"C	44	MAYOR'S OFFICE BATHS	20	1	0.5	#10-½"C
45	MAYOR'S OFFICE REFRIGERATOR	20	1	0.7	#10-½"C	46	SOLENOID VALVES	20	1	0.6	#10-½"C
47	CARD READERS	20	1	1.1	#10-½"C	48	**GRD FLR REC**	**20**	**1**	**1.0**	**#12-½"C**
49	INTERCOM	20	1	1.0	#10-½"C	50	**GRD FLR REC**	**20**	**1**	**1.0**	**#12-½"C**
51	**EWC**	**20**	**1**	**1.2**	**#10-½"C**	52	SPACE	-	-	-	-
53	SPARE	20	1	-	-	54	SPACE	-	-	-	-
55	SPARE	20	1	-	-	56	SPACE	-	-	-	-
57	SPARE	20	1	-	-	58	SPACE	-	-	-	-
59	SPARE	20	1	-	-	60	SPACE	-	-	-	-
61	SPACE	-	-	-	-	62	SPACE	-	-	-	-
63	SPACE	-	-	-	-	64	SPACE	-	-	-	-
65	SPACE	-	-	-	-	66	SPACE	-	-	-	-
67	SPACE	-	-	-	-	68	SPACE	-	-	-	-
69	SPACE	-	-	-	-	70	SPACE	-	-	-	-
71	SPACE	-	-	-	-	72	SPACE	-	-	-	-

CONNECTED KVA = 45.6 — TOTAL AMPS = 127

▲ LABEL "DO NOT TURN OFF"

FEEDER: 4 #2/0 & 1 #6(G) - 2½"C

CALCULATIONS FOR PANEL '1EL'
LARGEST MOTOR 2.8 KW @125% 3.5 KW
REST OF LOAD 42.1 KW @100% 42.1 KW
TOTAL LOAD 45.6 KW
45.6 KW @208V 3 PHASE = 127 A

SQ'D NQOD

LOCATION: 1st FLOOR (EOC) — MAIN: MCB — 120/208 V3 Φ 4 W, 10K AIC
3P-100A MCB. PANEL '1ELA' — MOUNT: FLUSH

CKT	SERVES	C.B.	P	KVA	WIRE-COND	CKT	SERVES	C.B.	P	KVA	WIRE-COND
1	ELEV. PIT LTS/RECS	20	1	0.4	#12-½"C	2	PROTECTOR SCREEN	20	1	0.2	#12-½"C
3	ELEVATOR CAB. LTS.	20	1	0.7	#12-½"C	4	EMERGENCY MANAGEMENT	20	1	0.7	#12-½"C
5	POLICE E.O.C. RECS.	20	1	0.7	#12-½"C	6	EMERGENCY MANAGEMENT	20	1	0.7	#12-½"C
7	POLICE E.O.C. RECS.	20	1	0.7	#12-½"C	8	COMUNICATION ROOM	20	1	0.5	#10-½"C
9	**GRD FL REC**	20	1	**0.6**	**#12-½"C**	10	COMUNICATION ROOM	20	1	0.5	#12-½"C
11	**GRD FL REC**	20	1	**0.6**	**#12-½"C**	12	LIGHTING	20	1	0.2	#12-½"C
13	EWC	20	1	0.8	#12-½"C	14	SERVING KITCHEN	20	1	0.2	#12-½"C
15	EWC	20	1	0.8	#12-½"C	16	AUTO FLUSH VALVES	20	1	0.2	#12-½"C
17	BATH RECS.	20	1	0.7	#12-½"C	18	TEL. BKBD.	20	1	0.7	#12-½"C
19	RECEPTACLES	20	1	0.7	#12-½"C	20	RECEPTACLES	20	1	1.1	#12-½"C
21	RECEPTACLES	20	1	0.7	#12-½"C	22	CARD READERS	20	1	1.1	#12-½"C
23	RECEPTACLES	20	1	0.7	#12-½"C	24	INTERCOM.	20	1	1.0	#12-½"C
25	SUMP PUMP	20	1	0.7	#12-½"C	26	SECURITY PANEL	20	1	0.8	#12-½"C
27	**DRINKING FOUNTAIN**	20	1	**1.0**	**#12-½"C**	28	**GDO**	20	1	**1.0**	**#12-½"C**
29	ELEV. MACH. RM RECS.	20	1	0.2	#12-½"C	30	**CARD READER**	20	1	**1.0**	**#12-½"C**
31	EXH. FANS	20	1	0.5	#12-½"C	32	**MAG LOCK**	20	1	**1.0**	**#12-½"C**
33	**EF-3**	**20**	**1**	**0.8**	**#12-½"C**	34	**DOOR OPERATOR**	20	1	**1.0**	**#10-¾"C**
35	**FUME EVIDENCE UNIT REC.**	**20**	**1**	**1.0**	**#12-½"C**	36	**SALLYPORT DOOR**	20	1	**1.0**	**#10-¾"C**
37	**REFRIG. EVIDENCE ROOM**	**20**	**1**	**0.8**	**#12-½"C**	38	SPACE	-	-	-	-
(+) 39	FC-1	30	2	1.0	#10-½"C	40	CU-1 (+)	30	2	2.8	#10-½"C
41						42					

CONNECTED KVA = 27.6 — TOTAL AMPS = 77

FEEDER: 4 #4 & 1 #6(G) - 2"C

(+) PROVIDE HACR TYPE BREAKER

CALCULATIONS FOR PANEL '1ELA'
LARGEST MOTOR 2.8 KW @125% 3.5 KW
REST OF LOAD 25.9 KW @100% 25.9 KW
TOTAL LOAD 29.4 KW
29.4 KW @208V 3 PHASE = 81.7 A

LOCATION: 1st FLOOR MAIN ELECTRICAL ROOM — EXISTING — 277/480 V3 Φ 4 W, 42K AIC
MAIN: MLO — 225 A. MLO. PANEL "1H" — MOUNT: SURFACE

CKT	SERVES	C.B.	P	K.V.A.	WIRE-COND	CKT	SERVES	C.B.	P	K.V.A.	WIRE-COND
(*) 1	EXTERIOR LTS.	20	1	1.3	#10-½"C	2	PARKING LTS. (*)	20	1	1.7	#12-½"C
3	1st. FLOOR LTS.	20	1	0.6	#12-½"C	4	STORAGE/TRASH ROOM LTS	20	1	1.0	#12-½"C
5	THREE STORY LOBBY LTS	20	1	0.5	#12-½"C	6	STAIR LTS.	20	1	0.9	#12-½"C
7	SPARE	20	1	-	-	8	SPARE	20	1	3.3	#12-½"C
(*) 9	PARKING LOT LTS.	20	1	1.14	#12-1/2"C (1)	10	**GROUND FLR LTS**	20	1	**1.0**	**#12-½"C**
(*) 11	PARKING LOT LTS.	20	1	1.14	#12-1/2"C (1)	12	SPARE	20	1	-	-
13	EWH-2	30	3	18.0	#10-¾"C	14	SPARE	20	1	-	-
15						16	PARKING LOT LTS. (*)	20	1	1.14	#12-1/2"C (1)
17						18	PARKING LOT LTS. (*)	20	1	1.14	#12-1/2"C (1)
(*) 19	PLAZA BALLADS	20	1	0.3	#10-¾"C	20	EXTERIOR LTS. (*)	20	1	3.0	#10-½"C
(*) 21	PLAZA BALLADS	20	1	1.3	#8-¾"C	22	SPARE	20	1		
(*) 23	PLAZA BALLADS	20	1	0.8	#8-¾"C	24	SPARE	20	1		
25	SPACE	-	-	-	-	26	SPACE	-	-	-	-
27	SPACE	-	-	-	-	28	SPACE	-	-	-	-
29	SPACE	-	-	-	-	30	SPACE	-	-	-	-

CONNECTED K.V.A. = 41.75 — TOTAL AMPS = 50

FEEDER: SEE PANEL 'DP'
CALCULATIONS FOR PANEL '1H'
LIGHTING LOAD 19.0 KW @125% 23.75 KW
REST OF LOAD 18.0 KW @100% 18.0 KW
TOTAL LOAD 41.75 KW
41.75 KW @480V 3 PHASE = 50 A

(*) THRU TIMECLOCK.
(1) OR EQUIVALENT MC CABLE DIRECT BURIAL RATED

LOCATION: 2nd FLOOR ELECTRICAL ROOM — EXISTING — 277/480 V3 Φ 4 W, 22K AIC
MAIN: MLO — 225 A. MLO. PANEL "2H" — MOUNT: SURFACE

CKT	SERVES	C.B.	P	K.V.A.	WIRE-COND	CKT	SERVES	C.B.	P	K.V.A.	WIRE-COND
1	2nd FLOOR OFFICES LTS.	20	1	2.4	#12-½"C	2	2nd FLOOR OFFICES LTS.	20	1	2.6	#12-½"C
3	2nd FLOOR OFFICES LTS.	20	1	2.0	#12-½"C	4	2nd FLOOR OFFICES LTS.	20	1	2.1	#12-½"C
5	2nd FLOOR OFFICES LTS.	20	1	2.0	#12-½"C	6	2nd FLOOR OFFICES LTS.	20	1	2.1	#12-½"C
7	2nd & 3rd WALKWAY LTS.	20	1	1.2	#12-½"C	8	3rd FLOOR OFFICES LTS.	20	1	2.7	#12-½"C
9	OUTDOOR PLAZA	20	1	0.9	#12-½"C	10	3rd FLOOR OFFICES LTS.	20	1	2.6	#12-½"C
11	3rd FLOOR OFFICE LTS.	20	1	1.8	#12-½"C	12	3rd FLOOR OFFICES LTS.	20	1	2.6	#12-½"C
13	VAV'S-2.18, 2.19	20	1	1.7	#12-½"C	14	SPARE	20	1		
15	VAV'S-2.12, 2.13, 2.14	20	1	1.7	#12-½"C	16	SPARE	20	1		
17	VAV'S-2.4, 2.5, 2.10	20	1	1.7	#12-½"C	18	VAV'S-2.1, 2.2	20	1	1.7	#12-½"C
19	VAV-2.8	20	1	2.7	#12-½"C	20	VAV-2.7	20	1	2.7	#12-½"C
21	SPARE	20	1			22	**VAV-2.6**	**40**	**1**	**7.5**	**#6-1"C**
23	SPARE	20	1			24	SPARE	20	1	-	-
25	WATER HEATER 2ND FL	20	3	9.0	#12-½"C	26	SPARE	20	3	-	
27						28					
29						30					
31	**STORE LTS 2nd FLR**	20	1	**0.2**	**#12-½"C**	32	SPARE	20	1	-	-
33	SPACE	-	-	-	-	34	SPARE	20	1	-	-
35	SPACE	-	-	-	-	36	SPACE	-	-	-	-
37	SPACE	-	-	-	-	38	SPACE	-	-	-	-
39	SPACE	-	-	-	-	40	SPACE	-	-	-	-
41	SPACE	-	-	-	-	42	SPACE	-	-	-	-

CONNECTED K.V.A. = 73.8 — TOTAL AMPS = 89

FEEDER: SEE PNL 'DP'
CALCULATIONS FOR PANEL '2H'
LIGHTING LOAD 28.4 KW @125% 35.5 KW
REST OF LOAD 38.3 KW @100% 38.3 KW
TOTAL LOAD 73.8 KW
73.8 KW @480V 3 PHASE = 89 A

LOCATION: 1st FLOOR MAIN ELECTRICAL ROOM — EXISTING — 277/480 V3 Φ 4 W, 42K AIC
MAIN: MLO — 100 A. MLO PANEL "1EH" — MOUNT: SURFACE

CKT	SERVES	C.B.	P	K.V.A.	WIRE-COND	CKT	SERVES	C.B.	P	K.V.A.	WIRE-COND
1	PARKING LTS.	20	1	2.0	#12-½"C	2	EXTERIOR ENTRANCE LTS (*)	20	1	1.7	#10-½"C
3	STAIR LTS.	20	1	0.9	#12-½"C	4	LOBBY LTS.	20	1	0.5	#12-½"C
5	1st. FLOOR LTS.	20	1	1.0	#12-½"C	6	SPARE	20	1	-	-
7	SPARE	20	1	-	-	8	SPARE	20	1	-	-
9	ELEV/ ROOM LTS.	20	1	0.3	#12-½"C	10	SPARE	20	1	-	-
11	**EOC/POLICE LTS**	**20**	**1**	**2.2**	**#10-½"C**	12	GENERAL AREA LTS	20	1	1.3	#10-½"C
13	**EOC/POLICE LTS**	**20**	**1**	**1.4**	**#10-½"C**	14	**GRD FLR LTS**	**20**	**1**	**0.3**	**#10-½"C**
15	CLASSROOM LTS	20	1	2.4	#10-½"C	16	SPACE				
17	SPARE	20	1	-	-	18	SPACE				
19	SPACE	-	-	-		20					
21	SPACE	-	-	-	-	22	RTU #3 (+)	50	3	23.2	#6-1"C
23	SPACE					24					

CONNECTED K.V.A. = 46.1 — TOTAL AMPS = 56

FEEDER: SEE PNL 'EDP'
CALCULATIONS FOR PANEL '1EH'
LIGHTING LOAD 13.7 KW @125% 17.1 KW
LARGEST MOTOR 23.2 KW @125% 29.0 KW
TOTAL LOAD 46.1 KW
46.1 KW @480V 3 PHASE = 56 A

(*) THRU TIMECLOCK
(+) PROVIDE HACR TYPE BREAKER

LOCATION: 2nd FLOOR ELECTRICAL ROOM — ® EXISTING TO BE REPLACED — 277/480 V3 Φ 4 W, 22K AIC
MAIN: MLO — 100 A. MLO. PANEL "2EH" — MOUNT: SURFACE

CKT	SERVES	C.B.	P	K.V.A.	WIRE-COND	CKT	SERVES	C.B.	P	K.V.A.	WIRE-COND
1	2nd FLOOR LTS	20	1	2.0	#12-½"C	2	2nd & 3rd WALKWAY LTS.	20	1	1.6	#12-½"C
3	2nd FLOOR LTS	20	1	2.3	#12-½"C	4	ROOF LTS.	20	1	0.2	#12-½"C
5	2nd FLOOR LTS	20	1	2.0	#12-½"C	6	3rd FLOOR LTS.	20	1	2.7	#12-½"C
7	OUTDOOR PLAZA	20	1	0.8	#10-½"C	8	3rd FLOOR LTS.	20	1	2.9	#12-½"C
9	VAV- 3RD FLOOR	20	1	1.0	#12-½"C	10	MAYOR'S OFFICE LTS	20	1	2.2	#12-½"C
11	VAV'S-3.8, 3.12	20	1	1.7	#12-½"C	12	VAV'S-3RD FLOOR	20	1	1.0	#12-½"C
13	**TRAINING RM LTS**	**20**	**1**	**0.6**	**#12-½"C**	14	VAV'S-3RD FLOOR	20	1	1.0	#12-½"C
15	IT ROOM LTS	20	1	0.2	#12-½"C	16	VAV'S-3.7, 3.11	20	1	1.7	#12-½"C
17	SPACE	-	-	-	-	18	VAV'S-3.2, 3.3, 3.5	20	1	1.7	#12-½"C
19						20	WATER HTR 3RD FL	20	3	9.0	#12-½"C
21	RTU #2	20	3	11.8	#10-1"C	22					
23						24					
25						26	**SPACE**	-	-	-	-
27	**SEF-1**	**20**	**3**	**3.3**	**#10-¾"C**	28	**SPACE**	-	-	-	-
29						30	**INLINE HEATER**	**30**	**1**	**5.0**	**#10-¾"C**

CONNECTED K.V.A. = 62.6 — TOTAL AMPS = 71

FEEDER: SEE PNL 'EDP'
CALCULATIONS FOR PANEL '2EH'
LIGHTING LOAD 20.0 KW @125% 25 KW
LARGEST MOTOR 9.3 KW @125% 11.6 KW
REST OF LOAD 5.0 KW @100% 5.0 KW
TOTAL LOAD 41.6 KW
41.6 KW @480V 3 PHASE = 50 A
ADDED LOADS 17.1 KW = 21 A
71 A

® REPLACE PANEL FOR 30SP MIN. PANEL & ALL RECONNECTED BOLD CIRCUITS REPRESENT NEW SCOPE

LOCATION: 1st FLOOR MAIN ELECTRICAL ROOM — EXISTING — 277/480 V 3 Φ 4 W, AIC RATING 65 KAIC
MAIN: MCB — 3P-1200A GFP MCB PNL "DP"

CKT	SERVES	AMPS	KW	C.B.	P.	WIRE - CONDUIT	REMARKS
1	PNL '1H'	48		100	3	4#2 & 1#8(G) 1-1/2"C	
2	PNL '2H'	84		150	3	4#1/0 & 1#6(G) 2"C	
3	PNL '2L' (+)	213		500	3	(2) SETS OF 3#250 KCMIL & 1#2(G) 3"C	
4	SPARE			225	3		
5	TVSS	-	-	40	3	5#8-¾"C	
6	SPACE	-	-	-	-		
7	SPACE	-	-	-	-		
8	SPACE	-	-	-	-		
SUB TOTAL AMPS		823					
TOTAL AMPS		345					

(+) PROVIDE HACR TYPE BREAKER

FEEDER: SEE RISER

LOCATION: 1st FLOOR MAIN ELECTRICAL ROOM — EXISTING — 277/480 V 3 Φ 4 W, AIC RATING 65 KAIC
MAIN: MLO — 600A MLO PNL "EDP"

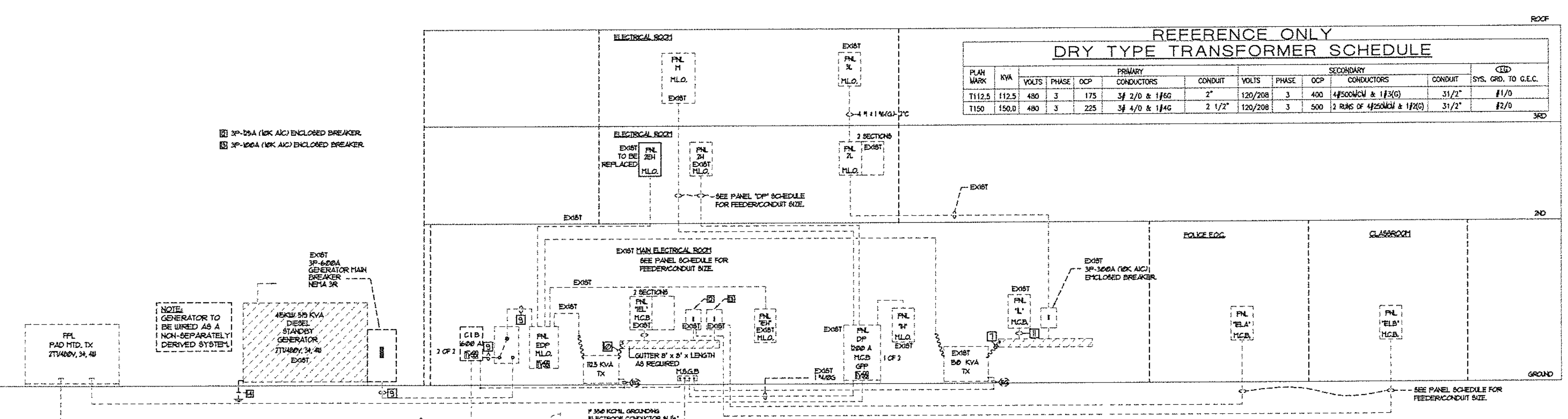
CKT	SERVES	AMPS	KW	C.B.	P	WIRE - CONDUIT	REMARKS
1	ELEV#1	-	(F)	110▲	3	3#1 & 1#6(G) - 2"C	40 HP ASSUMED
2	ELEV#2	-	(F)	110▲	3	3#1 & 1#6(G) - 2"C	40 HP ASSUMED
3	ELEV #3	-	(F)	100▲	3	3#1 & 1#6(G) - 2"C	40 HP ASSUMED
4	PNL '1EH'	-	(F)	100	3	4#2 & 1#8(G) -1½"C	
5	PNL '2EH'	-	(F)	100	3	4#2, 1#8(G) -1½"C	
6	112.5 KVA XMER	-	(F)	175	3	SEE TRANSFORMER SCHEDULE SHEET E-5	FEEDS PNLS 'EL','ELA' & 'ELB'
7	WATER HTR	-	(F)	20	3	3#10-¾"C	9.0 KW
8	TVSS	-	-	40	3	5#8-¾"C	
9	150 KVA XMER	107	85	225	3		TX FOR 1L/2L/3L
10	RTU-6	109	90	125	3	3#1, 1#6(G) -1½"C	

30 DAY READING: 160 KW @125% = 200 KW
NEW LOADS FROM 2EDP = 175 KW
ADDED LOADS ON 2EH = 17 KW
392 KW

500 KW @480V/3PH = 472 AMPS
EXIST. GENERATOR CAPACITY = 45 KW
EDP PANEL & ATS CAPACITY = 600A

▲ SHUNT-TRIP BREAKER
(F) LOAD BASED ON LOAD READINGS FOR 30 DAYS SEE CALCULATIONS FOR THE PANEL

FEEDER: SEE RISER



REFERENCE ONLY

DRY TYPE TRANSFORMER SCHEDULE

PLAN MARK	KVA	PRIMARY VOLTS	PRIMARY PHASE	PRIMARY OCP	PRIMARY CONDUCTORS	PRIMARY CONDUIT	SECONDARY VOLTS	SECONDARY PHASE	SECONDARY OCP	SECONDARY CONDUCTORS	SECONDARY CONDUIT	SYS. GRD. TO G.E.C.
T112.5	112.5	480	3	175	3# 2/0 & 1#6G	2"	120/208	3	400	4#500KCM & 1#3(G)	3 1/2"	#1/0
T150	150.0	480	3	225	3# 4/0 & 1#4G	2 1/2"	120/208	3	500	2 RUNS OF 4#250KCM & 1#2(G)	3 1/2"	#2/0

EXISTING ELECTRICAL RISER DIAGRAM N.T.S.
REFERENCE ONLY

NOTE:
BOLD CIRCUITS INDICATE NEW & PART OF SCOPE. OTHERS ARE EXISTING & SHOWN FOR REFERENCE

PANEL INDEX

2L	1EL	1H	1EH
3L	1ELA	2H	2EH
			DP
			EDP

FRANYIE ENGINEERS INC.
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VIVIANA FRANYIE PE #49985 EE
Certificate of Authorization # 00002906
10610 NW 27 Street, Miami FL 33172 TEL: (305) 592-1360 FAX: (305) 594-9279 www.franyieengineers.com

DESIGN	DRAWN	DATE
VF/RR	VF/RR	04/04/14
JOB NUMBER		13-222

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INTERIOR ALTERATIONS FOR:
The Town of Medley - Florida
Municipal Services Facility
Owner: The Town of Medley
7777 NW 72nd Avenue
Medley, FL. 33166 Phone: (305) 887-9541

REVISIONS	BY
⚠1 05-05-14 BD. COORD. COMM	VF
⚠2 05-19-14 REV SCOPE	VF

VIVIANA FRANYIE LICENSE No. 49985 STATE OF FLORIDA PROFESSIONAL ENGINEER
May 20 2014
MAY 20 2014

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEALED IN THIS BOX. ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

Date
Scale
Drawn
Job
Sheet
E-5
Of 5 Sheets